



Oregon

Kate Brown, Governor

Department of Land Conservation and Development

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Salem, Oregon 97301-2540

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www.oregon.gov/LCD



NOTICE OF ADOPTED CHANGE TO A COMPREHENSIVE PLAN OR LAND USE REGULATION

Date: December 14, 2015

Jurisdiction: City of Astoria

Local file no.: A 15-03

DLCD file no.: 004-15

The Department of Land Conservation and Development (DLCD) received the attached notice of adopted amendment to a comprehensive plan or land use regulation on 12/14/2015. A copy of the adopted amendment is available for review at the DLCD office in Salem and the local government office.

Notice of the proposed amendment was submitted to DLCD 46 days prior to the first evidentiary hearing.

Appeal Procedures

Eligibility to appeal this amendment is governed by ORS 197.612, ORS 197.620, and ORS 197.830. Under ORS 197.830(9), a notice of intent to appeal a land use decision to LUBA must be filed no later than 21 days after the date the decision sought to be reviewed became final. If you have questions about the date the decision became final, please contact the jurisdiction that adopted the amendment.

A notice of intent to appeal must be served upon the local government and others who received written notice of the final decision from the local government. The notice of intent to appeal must be served and filed in the form and manner prescribed by LUBA, (OAR chapter 661, division 10).

If the amendment is not appealed, it will be deemed acknowledged as set forth in ORS 197.625(1)(a). Please call LUBA at 503-373-1265, if you have questions about appeal procedures.

DLCD Contact

If you have questions about this notice, please contact DLCD's Plan Amendment Specialist at 503-934-0017 or plan.amendments@state.or.us



NOTICE OF ADOPTED CHANGE TO A COMPREHENSIVE PLAN OR LAND USE REGULATION

FOR DLCD USE

File No.: 004-15 {24013}

Received: 12/14/2015

Local governments are required to send notice of an adopted change to a comprehensive plan or land use regulation **no more than 20 days after the adoption.** (See [OAR 660-018-0040](#)). The rules require that the notice include a completed copy of this form. **This notice form is not for submittal of a completed periodic review task or a plan amendment reviewed in the manner of periodic review.** Use [Form 4](#) for an adopted urban growth boundary including over 50 acres by a city with a population greater than 2,500 within the UGB or an urban growth boundary amendment over 100 acres adopted by a metropolitan service district. Use [Form 5](#) for an adopted urban reserve designation, or amendment to add over 50 acres, by a city with a population greater than 2,500 within the UGB. Use [Form 6](#) with submittal of an adopted periodic review task.

Jurisdiction: City of Astoria

Local file no.: ~~A15-01~~ A 15-03

Date of adoption: 12-7-15

Date sent: 12/14/2015

Was Notice of a Proposed Change (Form 1) submitted to DLCD?

Yes: Date (use the date of last revision if a revised Form 1 was submitted): 9-12-15

No

Is the adopted change different from what was described in the Notice of Proposed Change? Yes No

If yes, describe how the adoption differs from the proposal:

Yes. Review of roof design was reduced; minor changes to some of the design elements; public utilities not within an enclosed building exempt from review; define "adjacent".

Local contact (name and title): Rosemary Johnson, Special Projects Planner

Phone: 503-338-5183

E-mail: rjohnson@astoria.or.us

Street address: 1095 Duane Street

City: Astoria

Zip: 97103-

PLEASE COMPLETE ALL OF THE FOLLOWING SECTIONS THAT APPLY

For a change to comprehensive plan text:

Identify the sections of the plan that were added or amended and which statewide planning goals those sections implement, if any:

CP.080 Alderbrook Area; CP.085 Alderbrook Area Policies; CP.175.F, Uppertown / Alderbrook Subarea Plan, Aquatic and Shoreland Designations, CP.150.B, Permitted Uses in Columbia River Estuary Aquatic and Shoreland Designations, Natural Aquatic Statewide Planning Goals: 5, 10, 12, 16, 17

For a change to a comprehensive plan map:

Identify the former and new map designations and the area affected:

Change from	to	acres.	A goal exception was required for this change.
Change from	to	acres.	A goal exception was required for this change.
Change from	to	acres.	A goal exception was required for this change.
Change from	to	acres.	A goal exception was required for this change.

Location of affected property (T, R, Sec., TL and address):

The subject property is entirely within an urban growth boundary

The subject property is partially within an urban growth boundary

If the comprehensive plan map change is a UGB amendment including less than 50 acres and/or by a city with a population less than 2,500 in the urban area, indicate the number of acres of the former rural plan designation, by type, included in the boundary.

Exclusive Farm Use – Acres:	Non-resource – Acres:
Forest – Acres:	Marginal Lands – Acres:
Rural Residential – Acres:	Natural Resource/Coastal/Open Space – Acres:
Rural Commercial or Industrial – Acres:	Other: – Acres:

If the comprehensive plan map change is an urban reserve amendment including less than 50 acres, or establishment or amendment of an urban reserve by a city with a population less than 2,500 in the urban area, indicate the number of acres, by plan designation, included in the boundary.

Exclusive Farm Use – Acres:	Non-resource – Acres:
Forest – Acres:	Marginal Lands – Acres:
Rural Residential – Acres:	Natural Resource/Coastal/Open Space – Acres:
Rural Commercial or Industrial – Acres:	Other: – Acres:

For a change to the text of an ordinance or code:

Identify the sections of the ordinance or code that were added or amended by title and number:

14.130-14.133 add Neighborhood Greenway Overlay Zone (NGO); 14.134 Residential Development Design Standards; 14.135 Design Guidelines; 14.137 Other Development Standards; 14.138 Landscaping ; Amend 1.300 Establishment of Zones; 3.180.D Nonconforming Uses; 3.190.F Nonconforming Structures; 9.100.B Permit Extensions; delete map 14.015.A Gateway Overlay Zone; renumber 14.010 to 14.001.

For a change to a zoning map:

Identify the former and new base zone designations and the area affected:

Change from A-3	to A-4	Acres: 125
Change from	to	Acres:
Change from	to	Acres:
Change from	to	Acres:

Identify additions to or removal from an overlay zone designation and the area affected:

Overlay zone designation: NGO Acres added: 265 Acres removed:

Location of affected property (T, R, Sec., TL and address): see attached

List affected state or federal agencies, local governments and special districts: DSL, DLCD, ODOT, CREST, Port of Astoria

Identify supplemental information that is included because it may be useful to inform DLCD or members of the public of the effect of the actual change that has been submitted with this Notice of Adopted Change, if any. If the submittal, including supplementary materials, exceeds 100 pages, include a summary of the amendment briefly describing its purpose and requirements.

Amend Development Code, Zoning Map, and Comprehensive Plan to implement Riverfront Vision Plan (RVP) for Neighborhood Greenway Area

ORDINANCE NO. 15-08

AN ORDINANCE AMENDING THE ASTORIA COMPREHENSIVE PLAN PERTAINING TO IMPLEMENTATION OF THE ASTORIA RIVERFRONT VISION PLAN FOR THE NEIGHBORHOOD GREENWAY PLAN AREA

THE CITY OF ASTORIA DOES ORDAIN AS FOLLOWS:

Section 1. Astoria Comprehensive Plan Section CP.080, Alderbrook Area, is deleted in its entirety and hereby amended to read as follows:

“CP.080. Alderbrook Area.

The Alderbrook Area generally lies between Lief Erikson Drive and the pier head line, and from 41st to 54th Streets. It is an area of primarily older, single-family homes, with a few scattered duplexes. The area is topographically low, and some of it is in the 100-year floodplain. There are four small parks - Alderbrook Hall and Park at 4509 Lief Erikson Drive; LaPlante Park in the 4500 Block Cedar Street; Birch Street Ball Field at 49th and Birch Street; and Alderbrook Lagoon Beach at the foot of 53rd Street. The only commercial uses are a small business on Lief Erikson Drive, a motel at 54th and Lief Erikson Drive, and a construction business at 49th and Ash Streets. A commercial fishing facility was located on the waterfront between 49th and 50th Streets; however this facility is currently being converted into an art studio/retreat. The Area also overlaps with the *Astoria Riverfront Vision Plan* “Neighborhood Greenway” area which extends along the Riverfront from 41st Street to the east side of the Alderbrook neighborhood at approximately 54th Street and between Lief Erikson Drive and the pier head line of the Columbia River as depicted on the City’s Zoning Map.

Alderbrook Area is the only older neighborhood directly on the waterfront, and this is discussed in the shorelands/estuary section. The area has historically been zoned Medium Density Residential (R-2). The adjacent Blue Ridge and Emerald Heights areas are zoned High Density Residential (R-3), and are primarily multi-family housing areas. The majority of structures in the Blue Ridge area were demolished prior to 2007 and the land is mostly vacant pending redevelopment. The adjacent motel is zoned General Commercial (C-3). The City limits line stops east of Blue Ridge and includes North Tongue Point industrial area and South Tongue Point, but excludes North Tongue Point Job Corps Center and the US Coast Guard station, although this area is in the City’s Urban Growth Boundary.

Advantages of the Alderbrook Area are the proximity to the waterfront, the lack of through traffic (away from Lief Erikson Drive), the neighborhood hall and neighborhood character, and the availability of lower cost housing. However, the limited access into the Alderbrook Area from Lief Erikson Drive creates concerns with increased traffic to the area with no secondary vehicular outlets. Disadvantages include the flooding potential, the traffic along Lief Erikson Drive (a problem when crossing to the playground), and the distance to school.”

Section 2. Astoria Comprehensive Plan Section CP.085.2, Alderbrook Area Policies, is deleted in its entirety and hereby amended to read as follows:

"The residential character of Alderbrook will be protected through the designation of the aquatic area from 41st Street to Tongue Point as natural, and by the present zoning pattern. Development in the 100-year flood area shall be subject to the requirements of the City's Flood Hazard Overlay Zone."

Section 3. Astoria Comprehensive Plan Section CP.085.3, Alderbrook Area Policies, is deleted in its entirety and hereby amended to read as follows:

"3. Light water-dependent / water-related development consistent with the natural estuary designation (such as commercial fishing operation) may be allowed so long as it does not conflict with the residential area and is consistent with the City's Riverfront Vision Plan."

Section 4. Astoria Comprehensive Plan Section CP.085.6, Alderbrook Area Policies, is deleted in its entirety and hereby amended to read as follows:

"6. The property west of the sewer lagoons is designated as a park site and is the current (2015) east terminus of the River Trail; it is zoned Institutional (IN). However, the site's use as a regional park raises problems of traffic generation on residential streets. The local community must be involved in any future decision regarding this area."

Section 5. Astoria Comprehensive Plan Section CP.085.8, Alderbrook Area Policies, is hereby amended by the addition to read as follows:

"8. Extension of the trolley service to the Alderbrook neighborhood should be investigated and considered.

Section 6. Astoria Comprehensive Plan Section CP.175.F, Uppertown / Alderbrook Subarea Plan, Aquatic and Shoreland Designations, is hereby deleted in its entirety and hereby amended to read as follows:

"The aquatic area between 29th and 41st Streets is designated Development to the pier head line, except at the East End Mooring Basin where the designation corresponds to the outer boundary of the pier. East of 41st Street, the aquatic area is designated Natural."

Section 7. Astoria Comprehensive Plan Section CP.150.B, Permitted Uses in Columbia River Estuary Aquatic and Shoreland Designations, Natural Aquatic, is hereby amended by the addition to read as follows:

"20. In pile supported buildings existing as of October 1, 2002, non-water dependent and non-water related uses."

Section 8. Effective Date. This ordinance and its amendment will be effective 30 days following its adoption and enactment by the City Council.

ADOPTED BY THE COMMON COUNCIL THIS 7TH DAY OF DECEMBER, 2015.

APPROVED BY THE MAYOR THIS 7TH DAY OF December, 2015.

Arline LaMear
Mayor

ATTEST:



Brett Estes, City Manager

ROLL CALL ON ADOPTION:		YEA	NAY	ABSENT
Commissioner	Nemlowill	X		
	Herzig	X		
	Price	X		
	Warr	X		
Mayor LaMear	X			

ORDINANCE NO. 15-09

AN ORDINANCE AMENDING THE ASTORIA DEVELOPMENT CODE AND LAND USE AND ZONING MAP PERTAINING TO IMPLEMENTATION OF THE ASTORIA RIVERFRONT VISION PLAN IN THE NEIGHBORHOOD GREENWAY AREA

THE CITY OF ASTORIA DOES ORDAIN AS FOLLOWS:

Section 1. Section 14.130 through 14.138 pertaining to the Neighborhood Greenway Overlay Zone is added to read as follows:

"NGO: NEIGHBORHOOD GREENWAY OVERLAY ZONE

14.130. PURPOSE.

The purpose of the Neighborhood Greenway Overlay Zone is to implement the land use principles of the Astoria Riverfront Vision Plan, dated December 2009, as they pertain to the Neighborhood Greenway Plan Area. The Neighborhood Greenway Overlay (NGO) Zone is intended to protect views of and access to the Columbia River, provide for an enhance open space and landscaping, support limited water-dependent uses consistent with Astoria's working waterfront. The NGO Zone extends from approximately 41st Street to the east side of Alderbrook neighborhood at approximately 54th Street and between Lief Erikson Drive and the pier head line of the Columbia River as depicted on the City's Zoning Map.

14.131. APPLICABILITY AND REVIEW PROCEDURES.

The provisions of the Neighborhood Greenway Overlay Zone shall apply to all new construction or major renovation, where "major renovation" is defined as construction valued at 25% or more of the assessed value of the existing structure, unless otherwise specified by the provisions in this Ordinance.

Review of applications in the Neighborhood Greenway Overlay Zone is subject to the administrative procedures and approval of the Community Development Director established in Article 9.

A. Residential Development Exception

These standards shall not apply to single-family and two-family dwellings.

B. Residential Development

Applications for multi-family dwellings may be reviewed administratively subject to the Design Review Standards in Section 14.134 or through the public design review process subject to the Design Review Guidelines in Section 14.135.

C. Non-Residential and Mixed Use Development.

Applications shall be reviewed through the public design review process subject to the Design Review Guidelines in Section 14.135.

14.132. ALLOWABLE USES FOR OVERWATER DEVELOPMENT.

Outright and Conditional uses within the Neighborhood Greenway Overlay Zone shall be limited to allowable uses in the A-4 Zone (Aquatic Natural) with the following exceptions:

1. In pile supported buildings existing prior to October 1, 2002, non-water-dependent or non-water-related uses as follows are allowed as a conditional use:
 - a. Arts and crafts studios.
 - b. Bed and breakfast, home stay lodging, or inn.
 - c. Home occupation.
 - d. Professional and business office, personal service establishment limited to beauty and barber services and garment alterations.
 - e. Residential home.
 - f. Single-family dwelling.
 - g. Two-family dwelling.
 - h. Multi-family dwelling.
 - i. Off-street parking requirements for the above uses may be located in the upland zone adjacent to the use. The Planning Commission may impose additional landscape buffering to protect the adjacent residential uses.

14.133. STANDARDS FOR OVERWATER DEVELOPMENT.

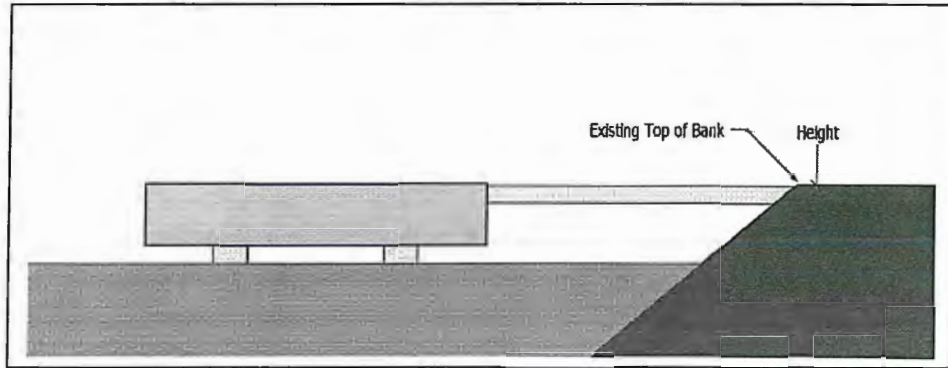
The following development standards apply to overwater development in the Neighborhood Greenway Overlay Zone. The Overwater Development standards shall also apply to on-land development north of the River Trail and/or 50' wide railroad line property between 41st Street and approximately 54th Street. In the event of a conflict between this Section and other Sections of the Astoria Development Code, this Section shall control.

Maintenance, repair, or restoration of buildings existing prior to 2002 shall be exempt from the standards of this Section. Additions and/or new construction on these buildings shall be subject to these standards.

A. Height.

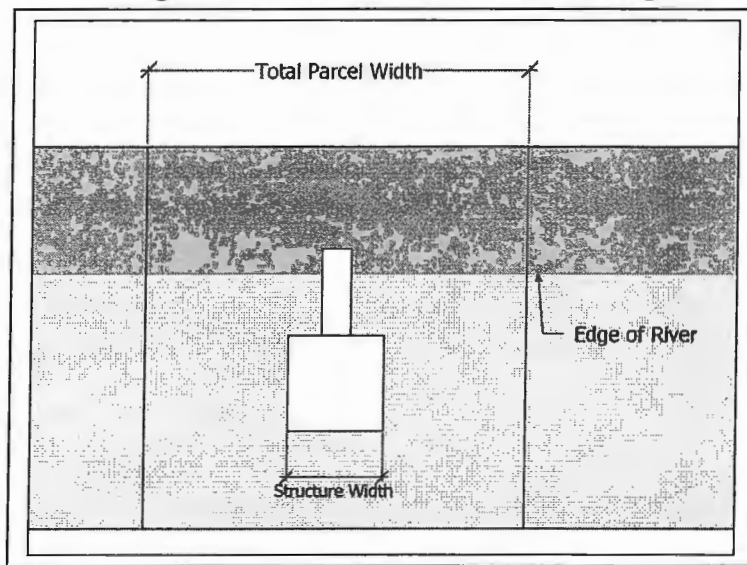
1. Maximum building height, except hand rails, shall be the top of the existing adjacent riverbank. No variance may be granted for an exception to this height limitation.

Figure 14.133-1: Maximum Building Height



- B. The maximum width of an overwater structure is 25% of the total parcel width (measured along the parcel frontage adjacent to the Columbia River) or 50 feet, whichever is smaller. In cases where total parcel width is 100 feet or less, the structure width may be up to 25 feet.

Figure 14.133-2: Maximum Building Width



14.134. RESIDENTIAL DEVELOPMENT DESIGN STANDARDS.

A. Applicability.

1. Residential.

- a. Single-family and two-family dwellings are not subject to the design standards.
- b. Multi-family dwellings proposed in the Neighborhood Greenway Overlay Zone may be reviewed in accordance with one of two review options:

- (1) Applications in compliance with Multi-Family Development Design Standards of Section 14.134 shall be reviewed pursuant to procedures for administrative review by the Community Development Director established in Article 9 unless the applicant requests review through the City's Design Review Committee pursuant to design review guidelines in Section 14.135; or
- (2) If a multi-family development applicant requests review through the City's Design Review Committee process, applications shall be reviewed in accordance with the Residential Development Design Guidelines of Section 14.135 and shall be reviewed pursuant to design review procedures in Article 9 and 14.

2. Non-Residential.

Non-residential uses may be reviewed pursuant to procedures for administrative review by the Community Development Director established in Article 9; or they may be reviewed pursuant to the Residential Development Design Guidelines of Section 14.135 and design review procedures in Article 9 and 14. The applicant shall have the option to choose between these two options.

3. Figures.

Figures included in Section 14.133 through 14.135 are included for illustrative purposes only and are not intended to be regulatory in and of themselves. If there is an inconsistency between the Figure and the Development Code text, the text shall prevail.

B. Design Standards.

1. Building Forms.

- a. All buildings shall be based on a rectangular or square form.
- b. All multi-family dwelling unit buildings shall have a front porch, at least six (6) feet deep and 60 square feet in area.

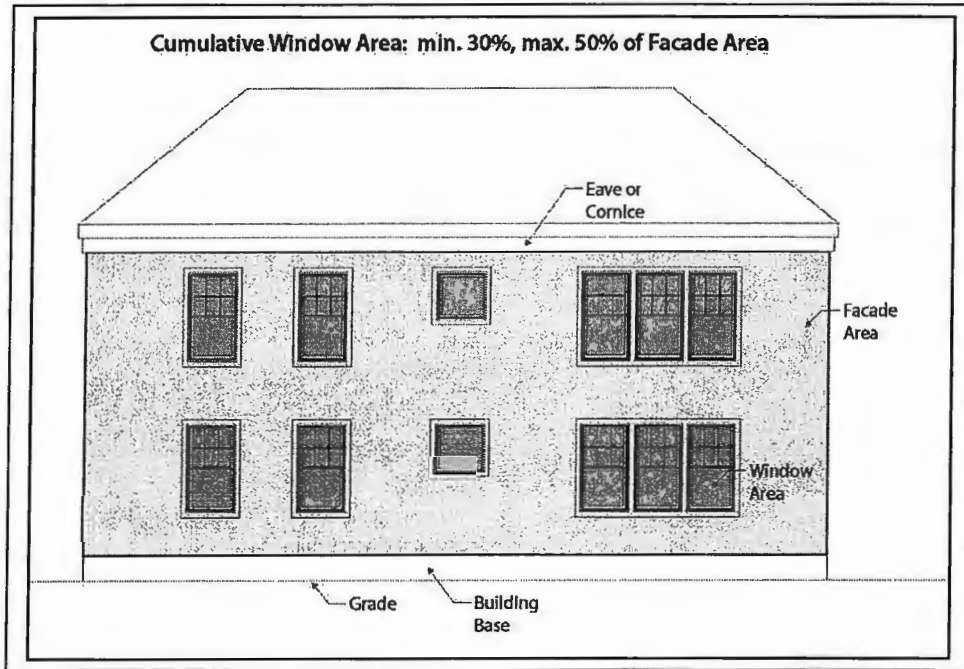
2. Window Design.

The following design standards apply to all facades.

- a. Windows required. All facades facing a right-of-way, River Trail, or common open space shall have windows.
- b. Window area. Window area shall cover a minimum of 30% of all street-

facing facade areas and shall not exceed 50% of street-facing facade areas.

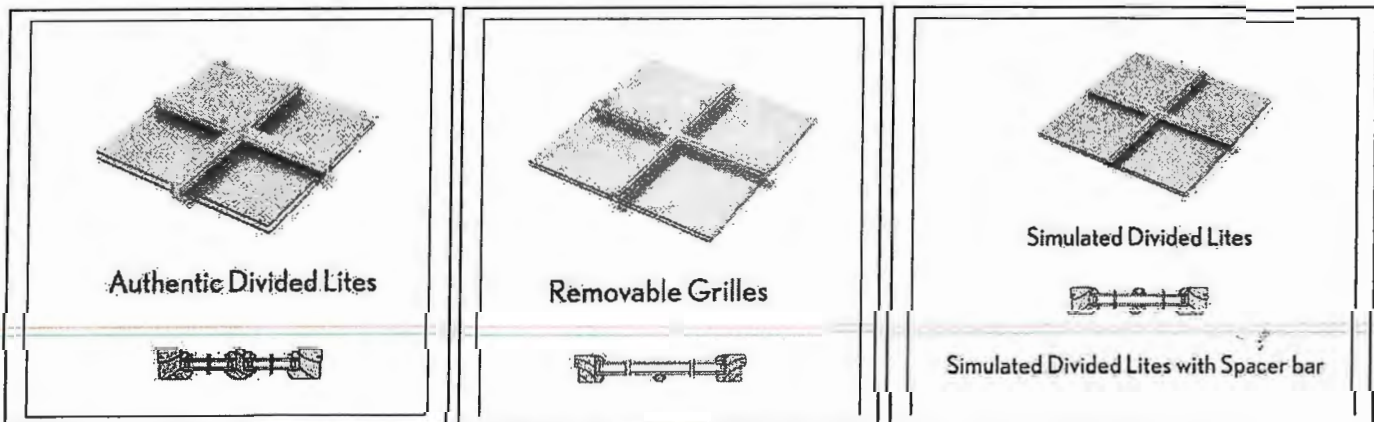
Figure 14.134-1: Window Area



c. Window lites. Window lite design shall be one of the following:

- 1) Single-lite windows; or
- 2) Multiple-lite true-divided windows; or
- 3) Combination of single and multiple-lite true-divided windows; or
- 4) Applied muntins with profile facing window exterior.

Figure 14.134-2: Window Lites

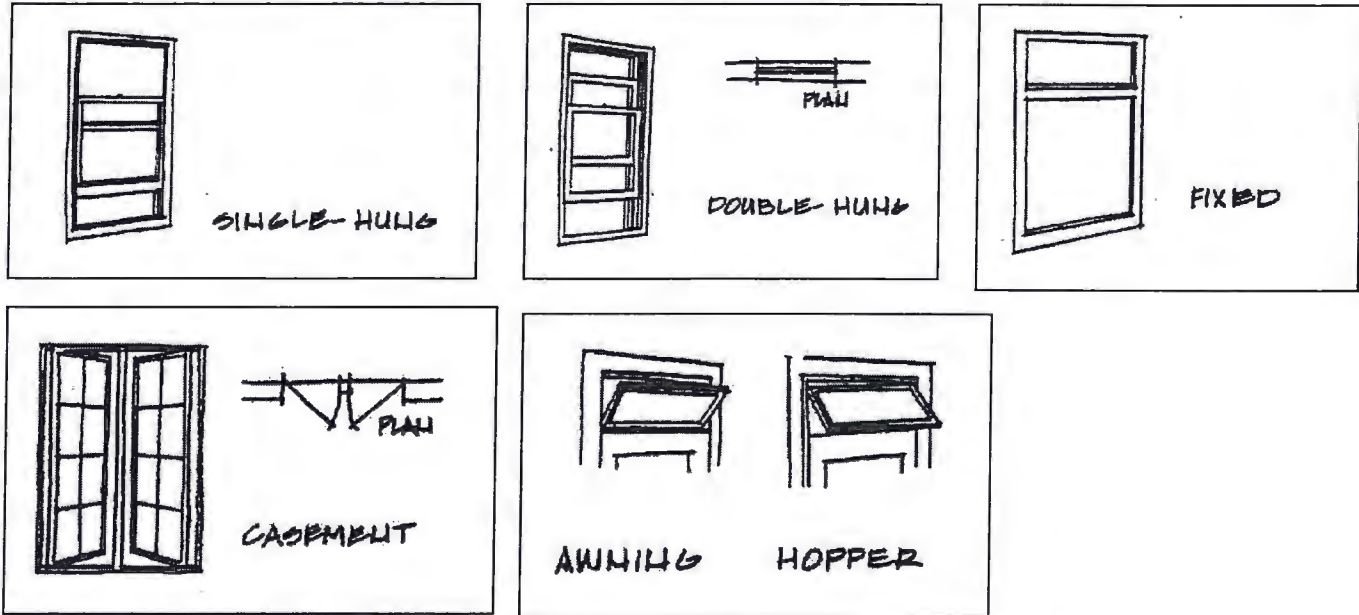


d. Windows shall be fixed or open in one of the following configurations:

- 1) Fixed window; or
- 2) Single-hung windows; or

- 3) Double-hung windows; or
- 4) Awning or hopper windows; or
- 5) Casement windows.

Figure 14.134-3: Fixed and Opening Windows

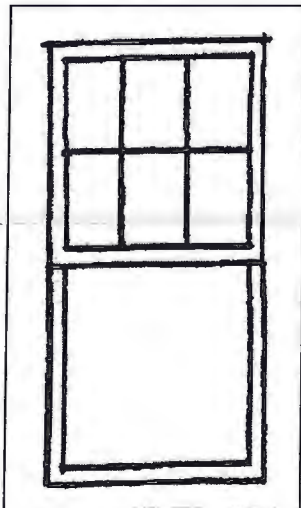


e. Window shape. Window shape shall be one of the following:

- 1) Vertical rectangle; or
- 2) Square.
- 3) Arched or decorative windows are permitted but should not exceed more than 30% of the total window coverage on all facades of the building.

Figure 14.134-4: Window Shapes

Vertical rectangular window

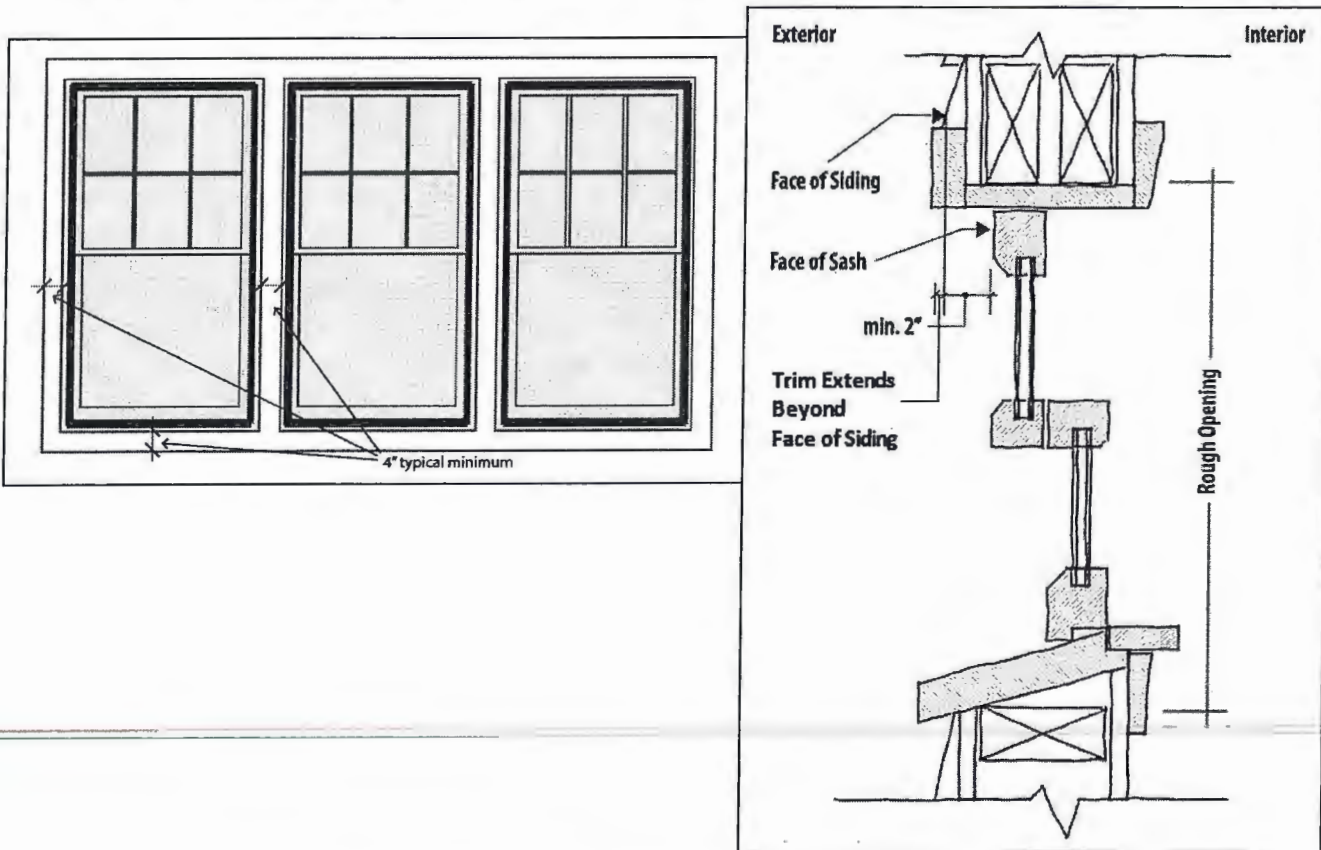


Examples of arched or decorative windows



- f. Window detailing. Windows shall have casings/trim, sills, and crown moldings. Window detailing shall meet the following requirements.
- 1) Casings/trim shall have minimum dimensions of 5/4 inch x 4 inch and shall extend beyond the facade siding.
 - 2) Windows shall be recessed a minimum distance of two (2) inches from the trim surface to ensure a shadow line/effect.

Figure 14.134-5: Window Detailing – Trim and casement location and dimensions

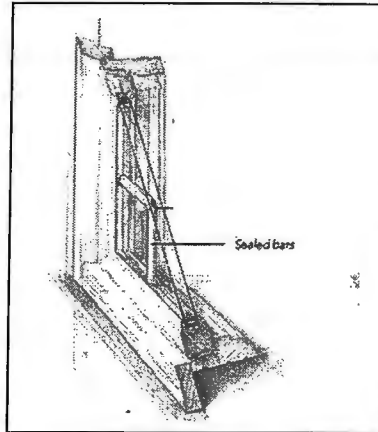


- g. Window design prohibited. The follow window design features are prohibited.

- 1) Applied muntins that have no profile.
- 2) Smoked, tinted, or frosted glass, except for bathroom windows not on the street-facing facade.
- 3) Mirrored glass.

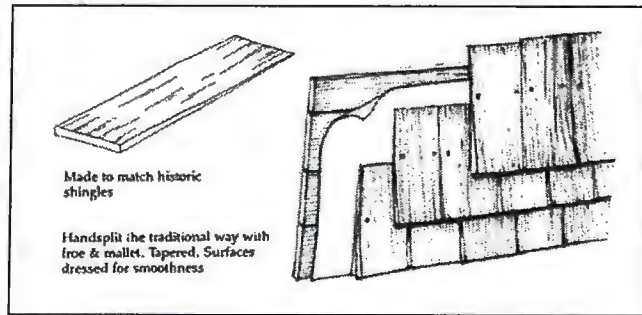
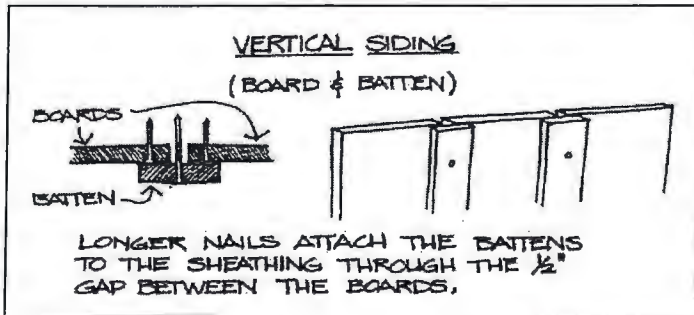
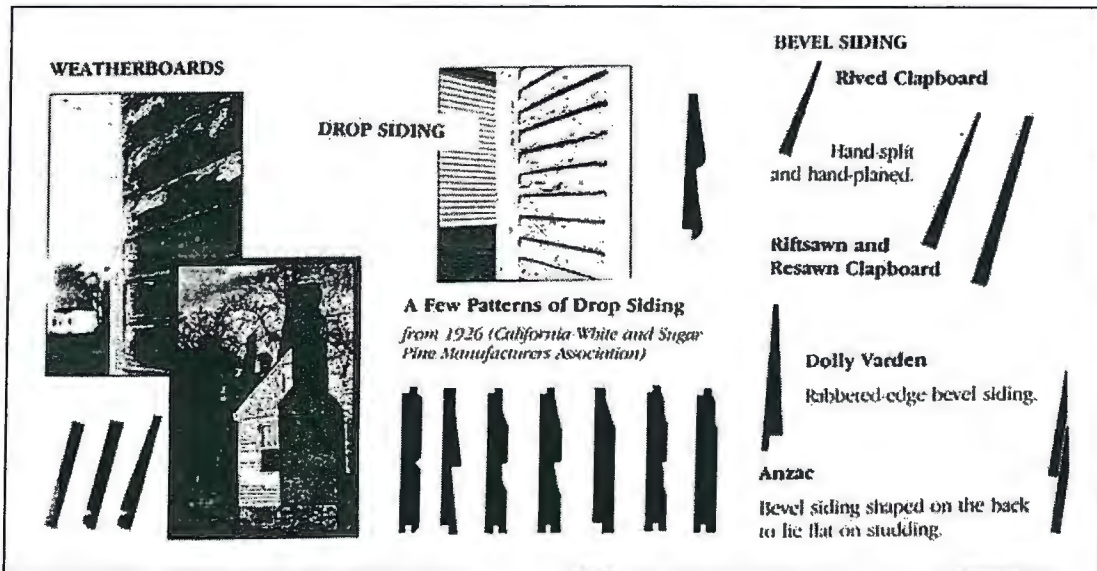
Figure 14.134-6: Window Design Prohibited

Muntins with no profile



3. Exterior Wall Treatments and Materials.
 - a. A minimum of 80% of exterior walls shall be constructed of one or more of the following sets of treatments and materials.
 - 1) Drop siding; or
 - 2) Weatherboard siding; or
 - 3) Clapboard; or
 - 4) Rectangular wood shingle or shake; or
 - 5) Decorative wood shingle or shake; or
 - 6) Board and batten.
 - b. Horizontal siding shall have six inches or less exposure.
 - c. Vertical board and batten shall have true battens.

Figure 14.134-7: Exterior Walls – Permitted Materials



- d. Paneled material shall be applied in a manner which avoids the occurrence of seams along the wall plane. Where seams cannot be avoided, they shall be located in a manner that relates logically to windows and other architectural features of the facade. Horizontal seams shall be covered by a trim board or cornice piece.

Figure 14.134-8: Exterior Walls – Seam Treatment

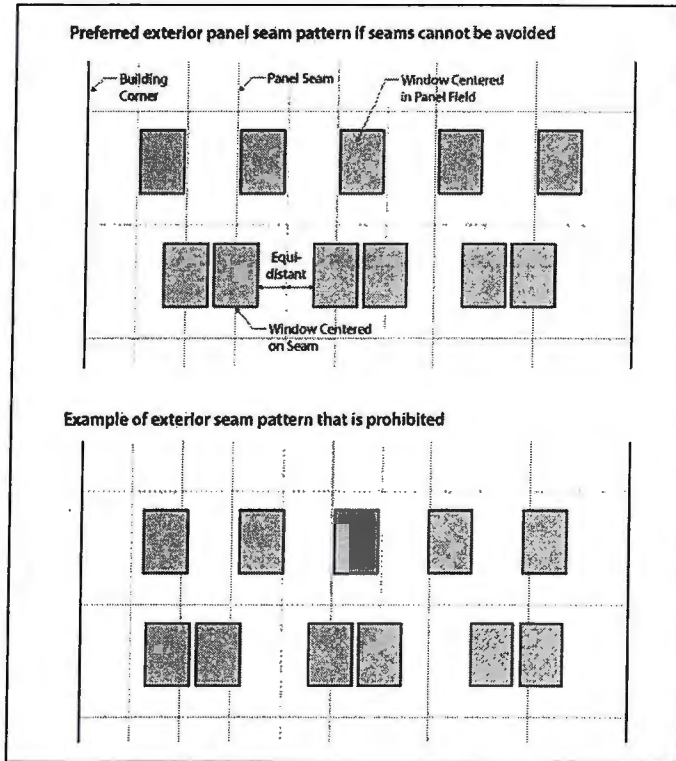
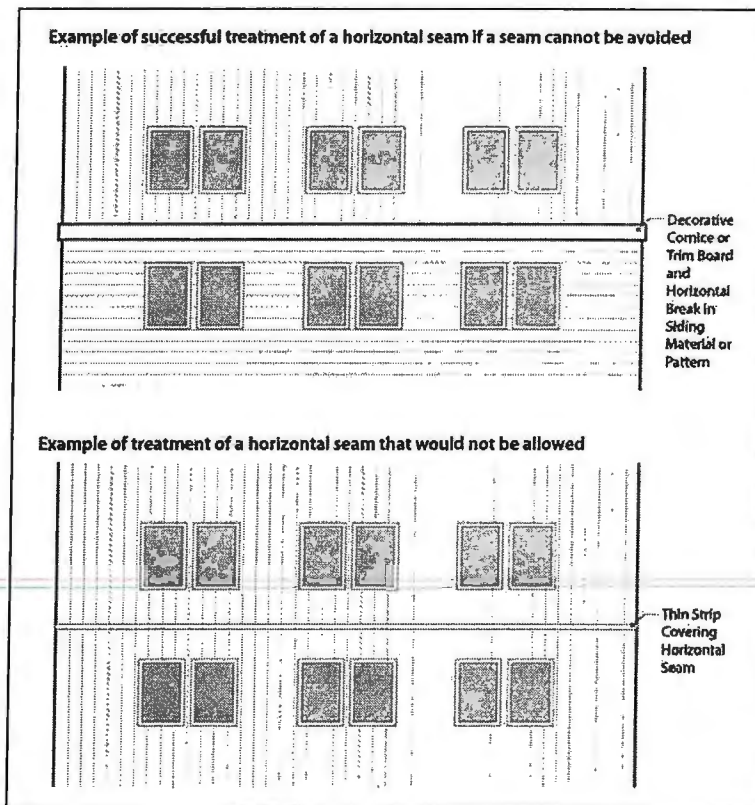


Figure 14.134-9: Exterior Walls – Horizontal Seam Treatment

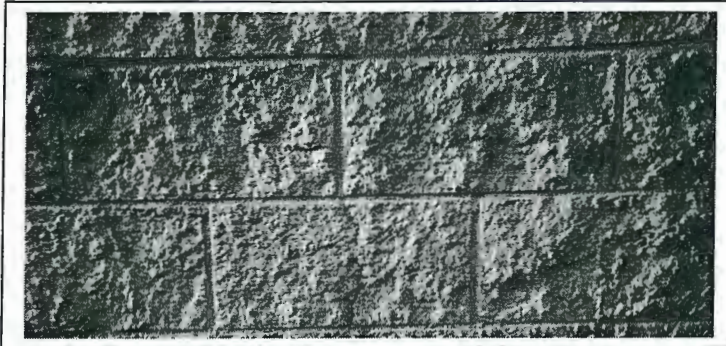


e. Exterior wall treatments and materials prohibited. The following types of treatments and materials are prohibited.

- 1) Exposed textured concrete block.
- 2) Flagstone or other applied stone products.
- 3) Precast concrete or decorative concrete panels.
- 4) Plywood paneling.

Figure 14.134-10: Exterior Wall Treatments and Materials Prohibited

Textured concrete



Applied stone



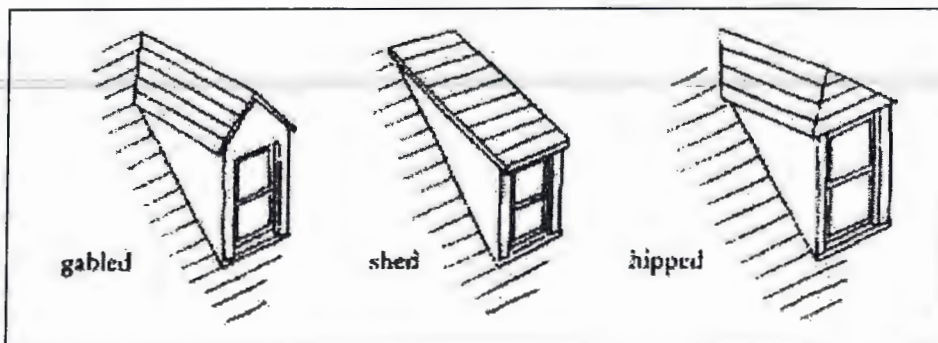
4. Roof Elements.

a. Roof elements permitted. The following roof design elements are permitted.

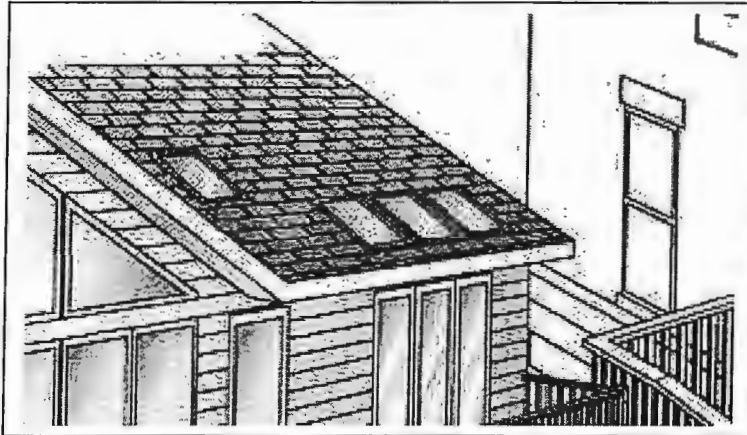
- 1) Dormers with gable, hip, or shed roofs.
- 2) Flat panel skylights or roof windows on secondary elevations.

Figure 14.134-11: Roof Elements Permitted

Gabled, shed, and hipped dormers



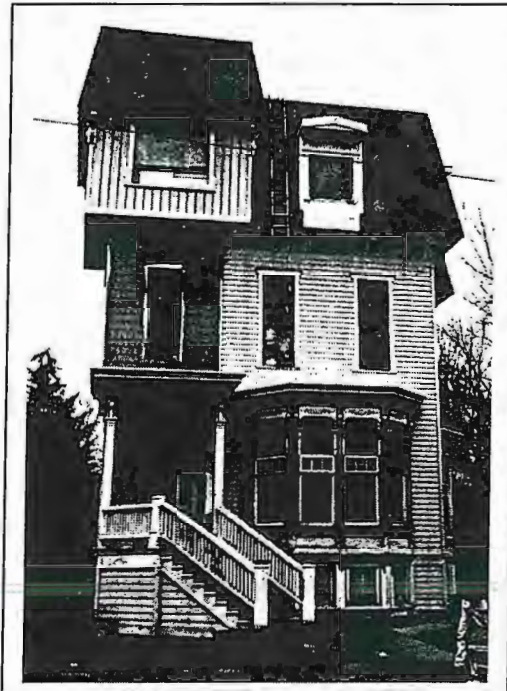
Flat panel skylights



- b. Roof elements prohibited. The following roof design elements are prohibited.
- 1) False mansard or other applied forms.
 - 2) Dome skylights.

Figure 14.134-12: Roof Elements Prohibited

False mansard roof



6. Signs.

Signs are subject to the sign provisions in Section 8.040 and 8.160.

7. Doors.

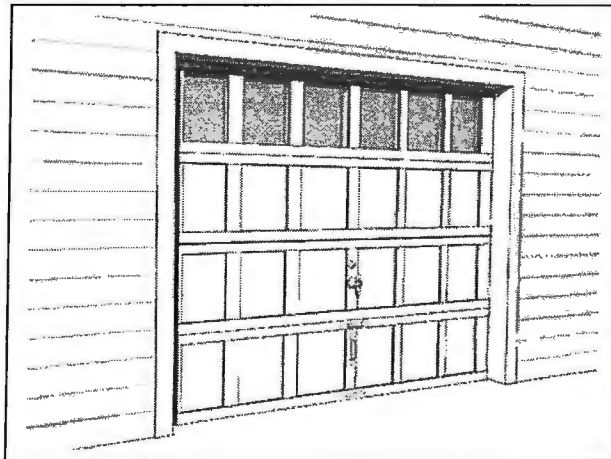
- a. Doors shall have at least one lite (glass) panel.
- b. Sliding doors are not permitted on the ground floor of the front facade.
- c. All materials are permitted.
- d. Metal or metal-clad doors shall be painted.

8. Garage Doors.

The following design standards apply to attached and detached garages:

- a. A minimum of 10% of each garage door shall be window panels, raised trim, or other architectural details.

Figure 14.134-13: Garage Doors Permitted



14.135. DESIGN GUIDELINES.

A. Purpose.

These guidelines promote architectural elements that unify the Neighborhood Greenway Area by encouraging styles characteristic of Astoria. The historic architecture of Astoria is represented by a variety of styles. Differences in details may be seen from one neighborhood to the next. These guidelines advocate the simplicity of design which is characteristic of Alderbrook and the working man's neighborhood. Building styles and details not inspired by Astoria's past will be discouraged but not prohibited. Monotony of design should be avoided. Variety of detail, form, and siting should be used to provide visual interest.

The Guidelines make reference to, but do not require the use of, historic materials. Contemporary substitutions (i.e. composite materials), will not be discouraged if their

texture, profile, and proportions are similar to those materials with historic precedent. As guidelines, the code provisions shall encourage or allow for design features or approaches that provide flexibility and discretion for the appropriate review body to interpret and apply the guidelines.

B. Design Review Process.

All uses proposed in the Neighborhood Greenway Overlay Zone other than residential single-family and two-family dwellings, or public utilities that are not located within an enclosed structure shall be reviewed in accordance with the design review guidelines of Section 14.135 pursuant to the design review procedures in Article 14.

C. Design Guidelines.

The following design guidelines shall apply to multi-family dwelling development that does not comply with the design standards of Section 14.134 and/or all non-residential development except public utilities that are not located within an enclosed structure.

1. Building Forms.

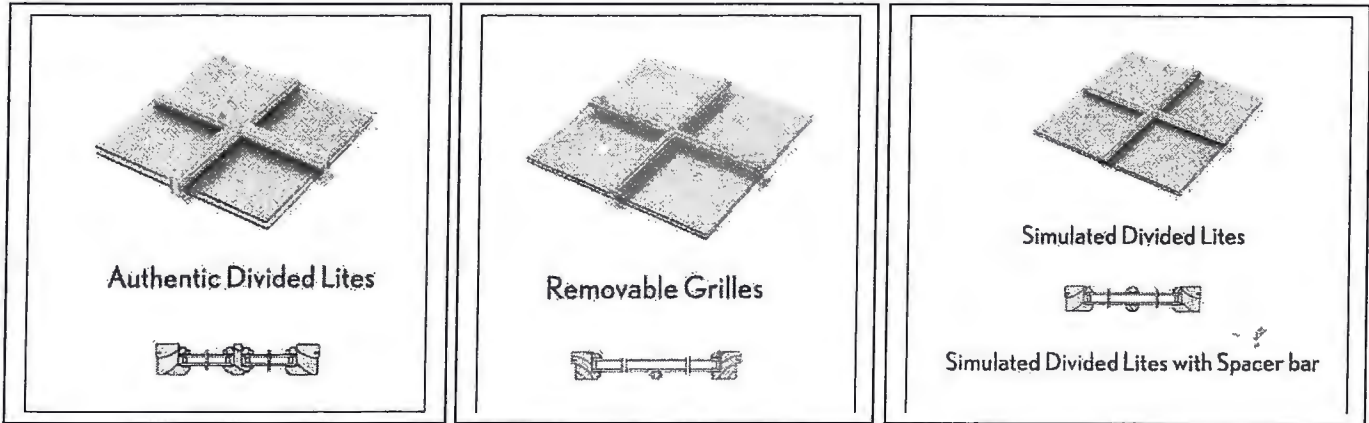
- a. All buildings should be based on a rectangular or square form.
- b. All multi-family dwelling unit buildings should have a front porch, at least six (6) feet deep and 60 square feet in area.

2. Window Design.

The following design guidelines apply to all facades.

- a. Windows required. All facades facing a right-of-way, River Trail, or common open space should have windows.
- b. Window area. Window area should be included on each level or story of the facade.
- c. Window lites. Window lite design should be one of the following:
 - 1) Single-lite windows; or
 - 2) Multiple-lite true-divided windows; or
 - 3) Combination of single and multiple-lite true-divided windows; or
 - 4) Applied muntins with profile facing window exterior.

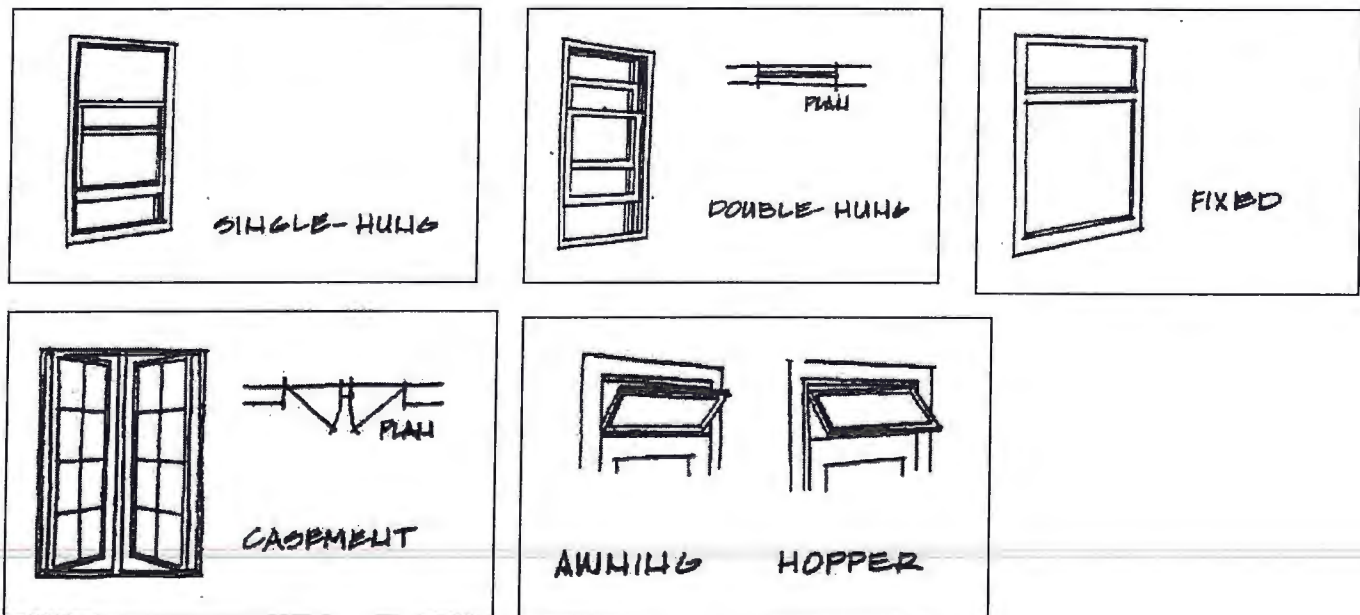
Figure 14.135-1: Window Lites



d. Windows should be fixed or open in one of the following configurations:

- 1) Fixed window; or
- 2) Single-hung windows; or
- 3) Double-hung windows; or
- 4) Awning or hopper windows; or
- 5) Casement windows.
- 6) Sliding windows may be used on non-residential structures in commercially zoned properties.

Figure 14.134-2: Fixed and Opening Windows



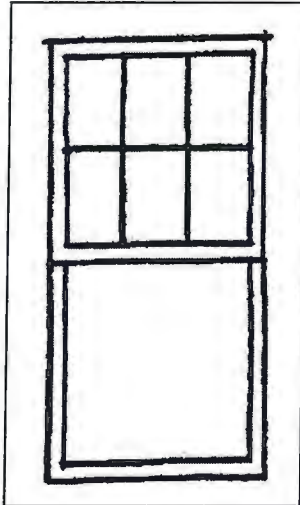
e. Window shape. Window shape should be one of the following:

- 1) Vertical rectangle; or
- 2) Square.
- 3) Arched or decorative windows are permitted but should make up a

relatively small percentage of all windows in the structure.

Figure 14.135-3: Window Shapes

Vertical rectangular window



Examples of arched or decorative windows

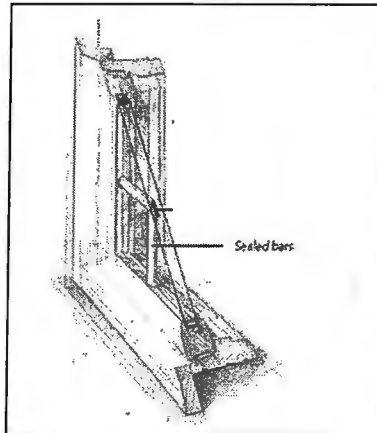


- f. Window detailing. Windows should have casings/trim, sills, and crown moldings. Casings and sills shall create a clear visible distinction and change in depth between the windows and surrounding facade.
- g. Window design discouraged. The follow window design features are discouraged.
- 1) Applied muntins that have no profile.
 - 2) Smoked, tinted, or frosted glass, except for bathroom windows not on the street-facing facade.
 - 3) Mirrored glass.

†

Figure 14.135-4: Window Design Discouraged

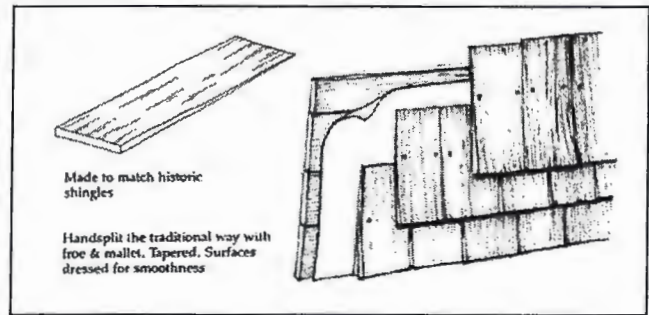
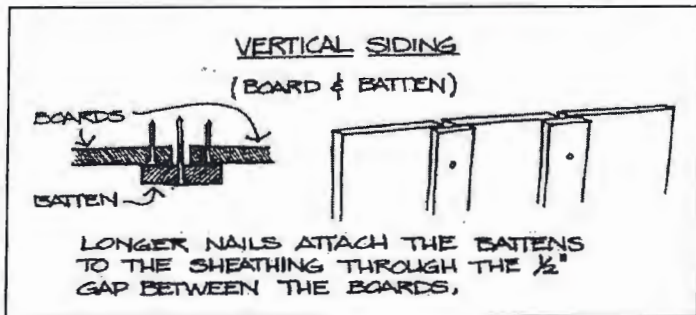
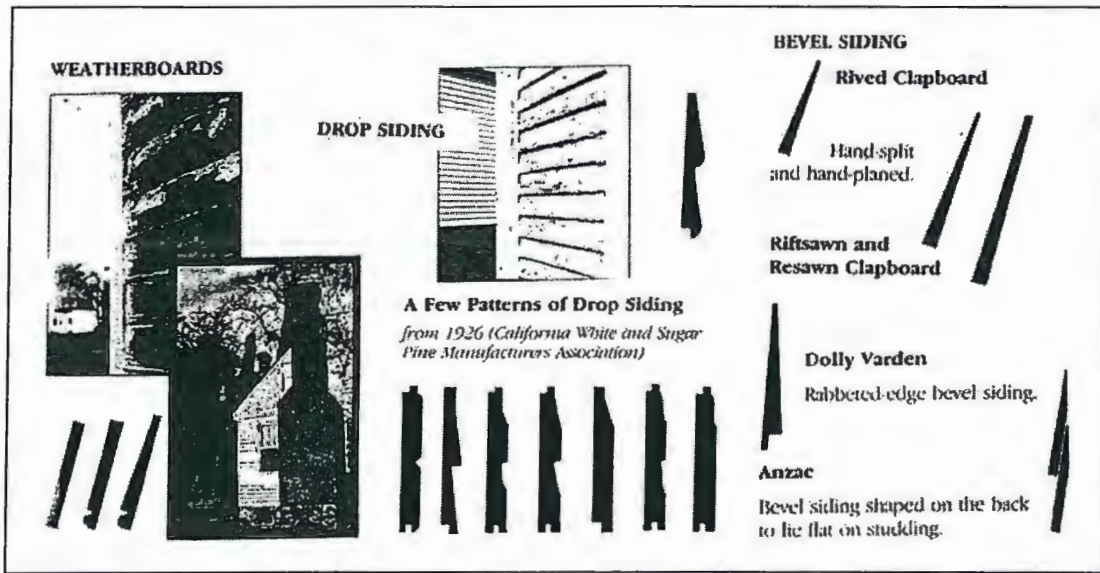
Muntins with no profile



3. Exterior Wall Treatments and Materials.

- a. Exterior walls should be constructed of one or more of the following sets of treatments and materials.
 - 1) Drop siding; or
 - 2) Weatherboard siding; or
 - 3) Clapboard; or
 - 4) Rectangular wood shingle or shake; or
 - 5) Decorative wood shingle or shake; or
 - 6) Board and batten.
 - 7) Fiber cement siding in the treatments noted above may be used but shall have a smooth, not textured, finish.
 - 8) Stucco may be used on non-residential structures in commercially zoned properties.
 - 9) Precast concrete or decorative concrete panels may be used on non-residential structures in commercially zoned properties.
- b. Horizontal siding should have six inches or less exposure.
- c. Vertical board and batten should have true battens.

Figure 14.135-5: Exterior Walls – Encouraged Materials

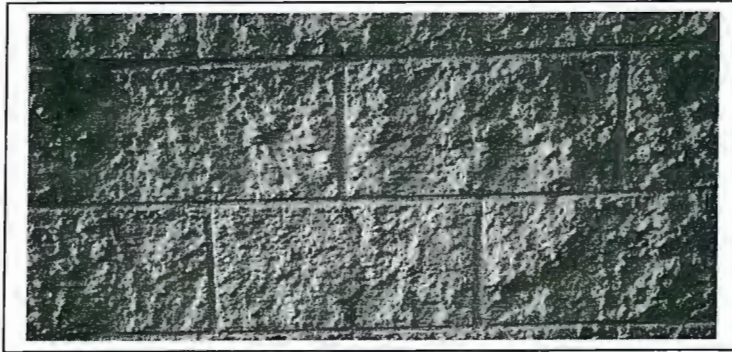


e. Exterior wall treatments and materials discouraged. The following types of treatments and materials are discouraged.

- 1) Exposed textured concrete block.
- 2) Flagstone or other applied stone products.
- 3) Precast concrete or decorative concrete panels, except on non-residential structures in commercially zoned properties.
- 4) Plywood paneling.

Figure 14.135-6: Exterior Wall Treatments and Materials Discouraged

Textured concrete



Applied stone



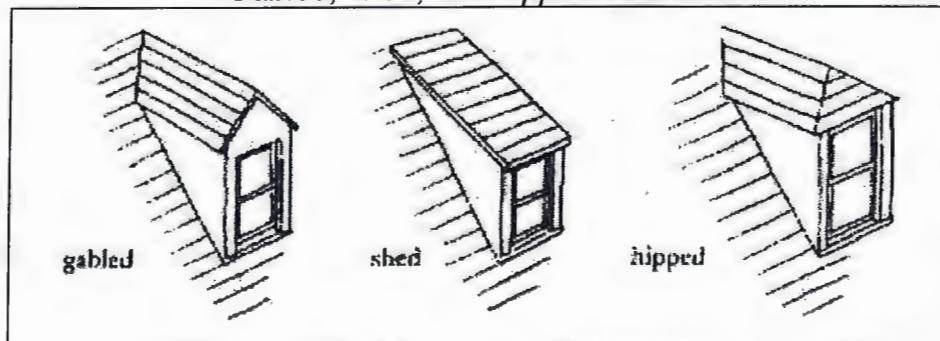
4. Roof Elements.

a. Roof elements encouraged. The following roof design elements are encouraged.

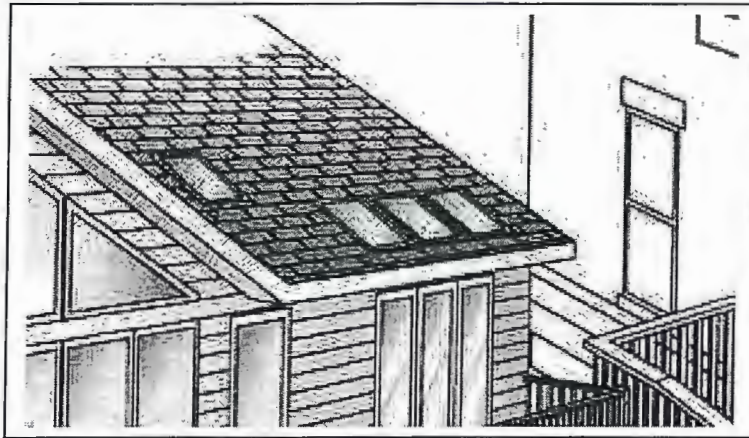
- 1) Dormers with gable, hip, or shed roofs.
- 2) Flat panel skylights or roof windows on secondary elevations.

Figure 14.135-7: Roof Elements Encouraged

Gabled, shed, and hipped dormers



Flat panel skylights



b. Roof elements discouraged. The following roof design elements are discouraged.

- 1) False mansard or other applied forms.
- 2) Dome skylights.

Figure 14.135-8: Roof Elements Discouraged

False mansard roof



6. Signs.

Signs are subject to the sign provisions in Development Code Article 8.

7. Doors.

- a. Doors should have at least one lite (glass) panel except on non-residential structures in commercially zoned properties.
- b. Sliding doors are discouraged on the ground floor of the front facade except on non-residential structures in commercially zoned properties.
- c. All materials are permitted.
- d. Metal or metal-clad doors should be painted.

14.137. OTHER DEVELOPMENT STANDARDS.

A. The following development standards are applicable within the Neighborhood Greenway Overlay Zone.

1. Exterior lighting.

Outdoor lighting shall be designed and placed so as not to cast glare into adjacent properties. Light fixtures shall be designed to direct light downward and minimize the amount of light directed upward. The Community Development Director may require the shielding or removal of such lighting where it is determined that existing lighting is adversely affecting adjacent properties or contributing to light directed into the night sky.

2. Fences.

Fences located between the River Trail and the Columbia River shall not exceed a height of three (3) feet.

14.138. LANDSCAPING.

Landscaping is required in the Neighborhood Greenway Overlay Zone in accordance with the provisions in this Section and those in Section 3.120 to 3.125. The provisions in this Section apply to new construction or exterior renovations with a value of at least 20% of the assessed value of the structure, or in the event of installation of new parking areas for multi-family dwellings and/or development other than single-family or two-family dwellings. Single-family and two-family dwellings are not subject to the landscaping standards except as noted.

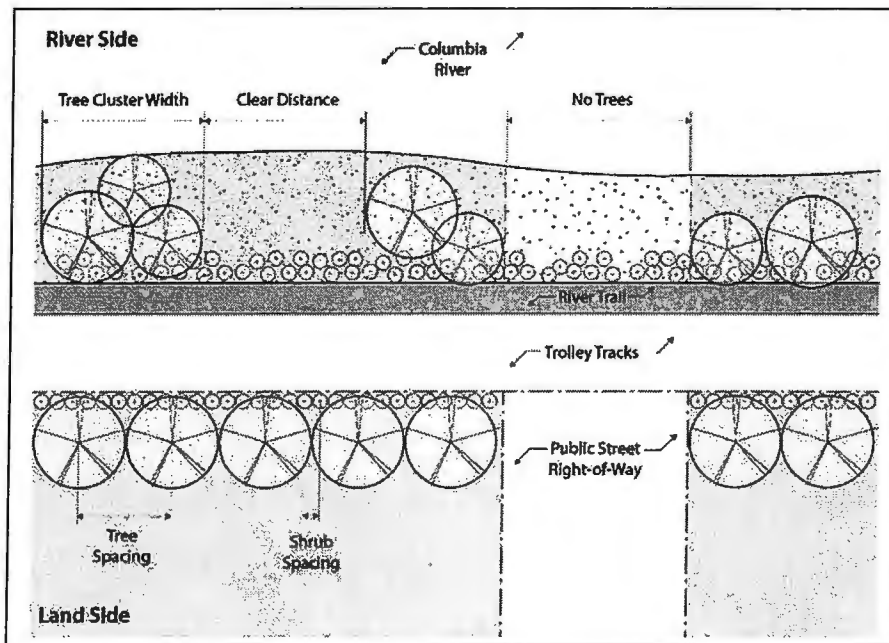
A. River Side or Riparian Standards.

1. Height and Spacing.

- a. Maximum shrub height is 30 inches.
- b. Maximum width of clusters of trees is 30 feet.

- c. Clusters of trees shall have a minimum of 50 feet clear between branches at maturity.
- d. Trees are not permitted to be planted on the river side of the River Trail within the extended public right-of-way or view corridor extending from it for a distance of 70 feet centered on the right-of-way centerline.
- e. Trees shall not exceed 25 feet in height at maturity
- f. Maximum height of fences is three (3) feet.

Figure 14.138-1: River Side/Riparian Landscaping



2. Native Plants.

See Section 3.125 concerning use of native plants and list of recommended native plants.

3. Landscaping Credits for Non-Vegetation Features.

- a. The Community Development Director may approve non-vegetative features to account for up to 40% of required landscaping when the features consist of hardscaped pedestrian-oriented areas (e.g., courtyards, plazas). Permeable paving and other stormwater management techniques are encouraged in the design of these areas.

- b. An application proposing more than 40% of required landscaping be credited by non-vegetative features is subject to approval in accordance with procedures in Article 9 and Article 12.
- c. Non-vegetative features allowed in the public right-of-way and/or on the River Trail in lieu of required landscaping shall be maintained by the applicant. There shall be a maintenance agreement or other City approved agreement. Failure to maintain or loss of the non-vegetative feature will result in the requirement for installation of the landscaping in accordance with the Code at the time of the loss.

2. Parking Area Landscaping.

- a. Landscaping required between parking areas, streets, and sidewalks in accordance with Section 3.120.A.7 shall also be required between parking areas and the River Trail.
- b. Landscaping shall minimize pedestrian exposure to parking lots with a hedge or a decorative fence that is 36" to 42" high.
- c. Maximum tree height and width in parking areas shall be 15 feet at maturity.

3. Landscaping Credits for Non-Vegetation Features.

- a. The Community Development Director may approve non-vegetative features to account for up to 25% of required landscaping when the features consist of the following:
 - (1) Hardscaped pedestrian-oriented areas (e.g., courtyards, plazas); and/or
 - (2) At least one of the following amenities meeting the City approved design within the public right-of-way and/or River Trail right-of-way:
 - (a) bike rack
 - (b) bench
 - (c) table
 - (d) drinking fountain
 - (e) directional or interpretive/information signage
 - (f) trash or recycling container
 - (g) lighting
 - (h) restroom

Permeable paving and other stormwater management techniques are encouraged in the design of these areas.

- b. An application proposing more than 25% of required landscaping be credited by non-vegetative features is subject to approval in accordance with procedures in Article 9 and Article 12.
- c. Non-vegetative features allowed in the public right-of-way and/or on the River Trail in lieu of required landscaping shall be maintained by the applicant. There shall be a maintenance agreement or other City approved agreement. Failure to maintain or loss of the non-vegetative feature will result in the requirement for installation of the landscaping in accordance with the Code at the time of the loss.

C. Street Trees.

Street trees planted within the right-of-way along either side of the street in the Neighborhood Greenway Overlay Zone shall be planted in accordance with the provisions in this Section.

This Section shall apply to all street trees planted including those for single-family and two-family dwellings.

- 1. Spacing should be 30 feet on center, depending on species and branching habit.
- 2. Minimum size of deciduous trees should be 2" caliper, with an upright form.
- 3. Mature branching height should be a minimum of 15 feet.
- 4. Required street trees shall be maintained by the adjacent property owner and/or other identified entity. There shall be a maintenance agreement or other City approved agreement."

Section 2. Astoria Development Code Section 1.300 pertaining to Establishment of Zones is hereby amended with the addition to read as follows:

"Neighborhood Greenway Overlay NGO"

Section 3. Section 3.190.F pertaining to Nonconforming Structures is added to read as follows:

"F. Reconstruction of Existing Non-Conforming Overwater Buildings

Nonconforming overwater buildings located between 16th and 41st Street within the Civic Greenway Overlay Area existing prior to 2013, and between 41st and approximately 54th Street in the Neighborhood Greenway Overlay Area existing prior to 2015 may be rebuilt if unintentionally destroyed by any means to an extent

exceeding 80% of its fair market value as indicated in Section 3.190.D, provided the reconstruction of the building complies with the following standards:

1. The building shall be rebuilt on the same location on the lot, or in compliance with the setback standards for the underlying zone. This does not allow any construction beyond the property lines; and
2. The square footage of the replacement structure and/or replacement uses does not exceed the square footage of the original structure and use classifications by more than 10%; and
3. The height of the building shall be the same or less than the existing building height prior to destruction; and
4. If the property is within an area subject to architectural design review standards, the design of the replacement structure shall comply with those architectural standards; and
5. Substantial construction of the building shall begin within two years of the date of destruction, unless an extension has been granted in accordance with Section 9.100; and
6. All other City and Building Codes relative to construction, including but not limited to, geologic concerns, stormwater management, grading, driveways, sidewalks, etc. shall apply.”

Section 4. Section 3.180.D pertaining to Nonconforming Uses is added to read as follows:

“D. Reestablishment of Existing Non-Conforming Uses in Overwater Buildings

Nonconforming uses in overwater buildings located between 16th and 41st Street within the Civic Greenway Overlay Area existing prior to 2013, and between 41st and approximately 54th Street within the Neighborhood Greenway Overlay Area existing prior to 2015 may be reestablished if the building housing the use is unintentionally destroyed by any means to an extent exceeding 80% of its fair market value as indicated in Section 3.190.D, provided the reconstruction of the building complies with the standards in Section 3.190.F and reestablishment of the use occurs within one year of the completion of construction. Completion of construction shall be determined by issuance of a temporary and/or final Certificate of Occupancy from the Building Official.”

Section 5. The 1992 Astoria Land Use and Zoning Map is amended to apply the Neighborhood Greenway Overlay (NGO) Zone as indicated on the map shown as Attachment A and further described below:

The area is generally described as 41st Street to 54th Street north of Lief Erikson Drive to the pier head line.

Section 6. The 1992 Astoria Land Use and Zoning Map is amended to rezone the following area from A-3 (Aquatic Conservation) to A-4 (Aquatic Natural) as indicated on the map shown as Attachment B and further described below:

The water area generally described as 41st Street to approximately 53rd Street north of the shoreline to the pier head line.

Section 7. Section 9.100.B, Permit Extensions, is amended to read as follows:

“Permit extension may be granted for all land use permits. Extensions may also be granted for time limits applicable to non-conforming buildings and/or non-conforming uses located over water between 16th and approximately 54th Streets as described in Sections 3.180.D and 3.190.F. One year extensions may be granted in accordance with the requirements of this Section as follows:”

Section 8. Astoria Development Code Section 14.015.A, Gateway Overlay Zone, General Provisions, map exhibit only is deleted in its entirety.

Section 9. Astoria Development Code Section 14.010, Definitions, is renumbered as follows:

“14.001. DEFINITION.

As used in Article 14, unless the context requires otherwise, the following words shall have the meaning indicated:

“SHOULD: A requirement, unless it can be shown that to comply with the requirement would be unreasonable, impractical, or unfeasible. Economic hardship alone shall not be justification for noncompliance with the requirement, but may be considered in conjunction with other reasons for noncompliance.”

“ADJACENT: Any lot abutting the subject parcel (including all tax lots included as part of the subject parcel development) excluding rights-of-way.”

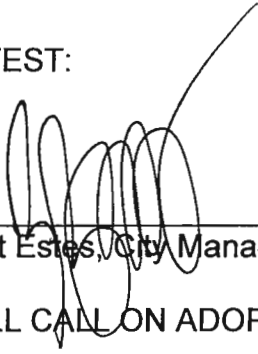
Section 10 Effective Date. This ordinance and its amendment will be effective 30 days following its adoption and enactment by the City Council.

ADOPTED BY THE COMMON COUNCIL THIS 7th DAY OF DECEMBER, 2015.

APPROVED BY THE MAYOR THIS 7th DAY OF December, 2015.

Arlene LaMear
Mayor

ATTEST:

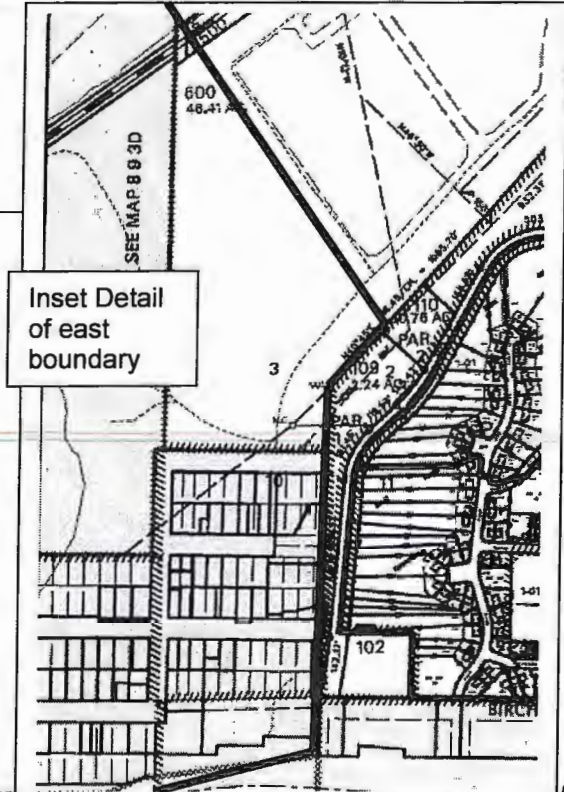
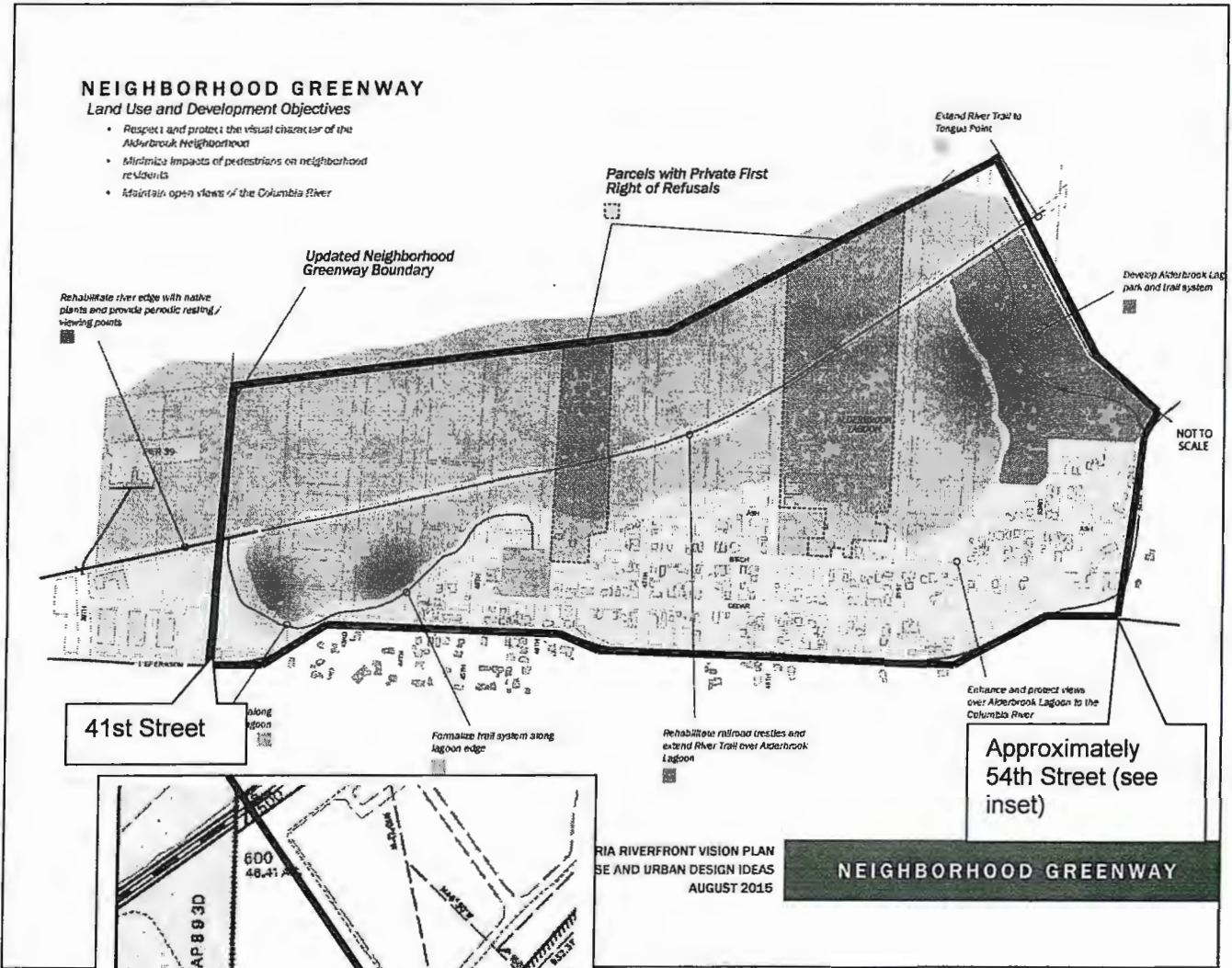


Brett Estes, City Manager

ROLL CALL ON ADOPTION:		YEA	NAY	ABSENT
Commissioner	Nemlowill	X		
	Herzig	X		
	Price	X		
	Warr	X		
Mayor LaMear		X		

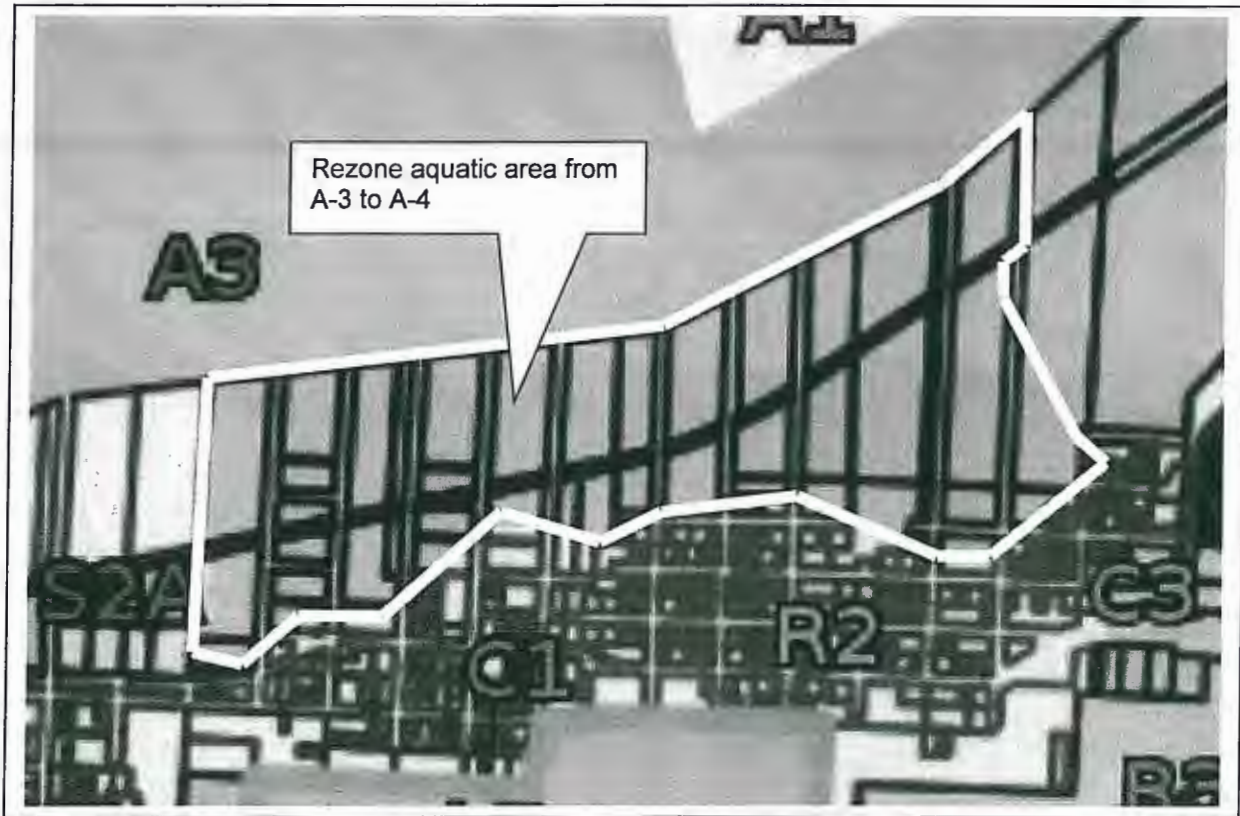
Ordinance 15-____ - Attachment A

NEIGHBORHOOD GREENWAY OVERLAY ZONE



Ordinance 15-____ - Attachment B

A-3 (Aquatic Conservation) to A-4 (Aquatic Natural) Zone



BEFORE THE ASTORIA CITY COUNCIL
OF THE CITY OF ASTORIA

IN THE MATTER OF AN AMENDMENT REQUEST)

FOR THE FOLLOWING PROPERTY:)

TAX MAP 2, 3D, 9AA, 10, 10AB, 10AD, 10BA, 10BB, 10BD;)
NEIGHBORHOOD GREENWAY AREA 41ST STREET TO)
APPROXIMATELY 54TH STREET & LIEF ERIKSON DRIVE)
TO THE PIER HEAD LINE, ASTORIA, OREGON 97103)

ORDER NO. A15-03

ZONE: A-3, AQUATIC CONSERVATION; R-2, MEDIUM DENSITY)
RESIDENTIAL; C-3, GENERAL COMMERCIAL; IN, INSTITUTION)

APPLICANT: COMMUNITY DEVELOPMENT DIRECTOR,)
CITY OF ASTORIA, 1095 DUANE, ASTORIA OR 97103)

The above named applicant filed a request to amend the Comprehensive Plan to implement the Riverfront Vision Plan in the Neighborhood Greenway Area, generally described as between 41st Street and approximately 54th Street, Lief Erikson Drive to the Pier Head line within the City limits of Astoria, Oregon.

A public hearing on the above entitled matter was held before the Planning Commission on October 27, 2015; and the Planning Commission closed the public hearing and rendered a decision at the October 27, 2015 meeting. The Planning Commission found the proposed amendment to be necessary and recommends to the Astoria City Council that the proposed amendment be approved.

A public hearing on the above entitled matter was held before the Astoria City Council and the public hearing was closed at the November 16, 2015 meeting; and the Astoria City Council rendered a decision at the December 7, 2015 meeting.

The City Council found the proposed amendment to be necessary and orders that this application for an Amendment A15-03 is approved and adopts the findings and conclusions of law attached hereto. A copy of the application, all documents and evidence relied upon by the applicant, the staff report, and applicable criteria are available for inspection at no cost and will be provided at reasonable cost.

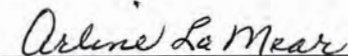
The effective date of this approval is the date of the signing of this Order.

This decision may be appealed to the Land Use Board of Appeals (LUBA) by the Applicant party to the hearing, or a party who responded in writing, by filing a Notice of Intent to Appeal with LUBA within 21 days of the date this Order is signed.

DATE SIGNED: DECEMBER 7, 2015

DATE MAILED:

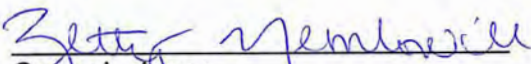
ASTORIA CITY COUNCIL




Mayor



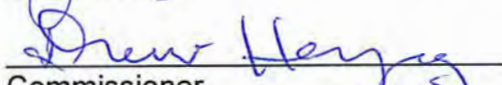
Commissioner



Commissioner



Commissioner



Commissioner

BEFORE THE ASTORIA CITY COUNCIL
OF THE CITY OF ASTORIA

IN THE MATTER OF AN AMENDMENT REQUEST)

FOR THE FOLLOWING PROPERTY:)

TAX MAP 2, 3D, 9AA, 10, 10AB, 10AD, 10BA, 10BB, 10BD;)
NEIGHBORHOOD GREENWAY AREA 41ST STREET TO)
APPROXIMATELY 54TH STREET & LIEF ERIKSON DRIVE)
TO THE PIER HEAD LINE, ASTORIA, OREGON 97103)

ORDER NO. A15-03

ZONE: A-3, AQUATIC CONSERVATION; R-2, MEDIUM DENSITY)
RESIDENTIAL; C-3, GENERAL COMMERCIAL; IN, INSTITUTION)

APPLICANT: COMMUNITY DEVELOPMENT DIRECTOR,)
CITY OF ASTORIA, 1095 DUANE, ASTORIA OR 97103)

The above named applicant filed a request to amend the Development Code and Astoria Land Use & Zoning Map to implement the Riverfront Vision Plan in the Neighborhood Greenway Area, generally described as between 41st Street and approximately 54th Street, Lief Erikson Drive to the Pier Head line within the City limits of Astoria, Oregon.

A public hearing on the above entitled matter was held before the Planning Commission on October 27, 2015; and the Planning Commission closed the public hearing and rendered a decision at the October 27, 2015 meeting. The Planning Commission found the proposed amendment to be necessary and recommends to the Astoria City Council that the proposed amendment be approved.

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The City Council found the proposed amendment to be necessary and orders that this application for an Amendment A15-03 is approved and adopts the findings and conclusions of law attached hereto. A copy of the application, all documents and evidence relied upon by the applicant, the staff report, and applicable criteria are available for inspection at no cost and will be provided at reasonable cost.


The effective date of this approval is the date of the signing of this Order.

This decision may be appealed to the Land Use Board of Appeals (LUBA) by the Applicant, party to the hearing, or a party who responded in writing, by filing a Notice of Intent to Appeal with LUBA within 21 days of the date this Order is signed.

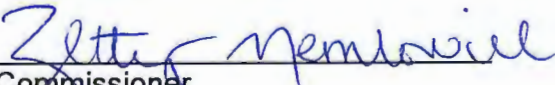
DATE SIGNED: DECEMBER 7, 2015

DATE MAILED:

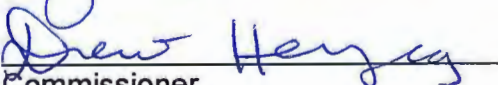
ASTORIA CITY COUNCIL



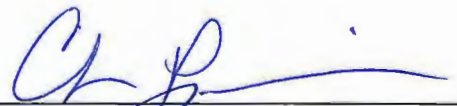
Mayor



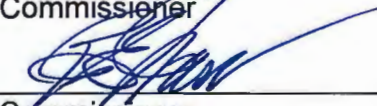
Commissioner



Commissioner



Commissioner



Commissioner



CITY OF ASTORIA

Founded 1811 • Incorporated 1856

COMMUNITY DEVELOPMENT

October 12, 2015

TO: ASTORIA PLANNING COMMISSION

FROM: ROSEMARY JOHNSON, SPECIAL PROJECTS PLANNER

SUBJECT: AMENDMENT REQUEST (A15-03) ON RIVERFRONT VISION PLAN
IMPLEMENTATION ORDINANCE FOR NEIGHBORHOOD GREENWAY AREA

I. BACKGROUND SUMMARY

- A. Applicant: Community Development Department
City of Astoria
1095 Duane Street
Astoria OR 97103

- B. Request: Amend the Development Code and Zoning map to implement the Riverfront Vision Plan in the Neighborhood Greenway (41st to approximately 54th Street, Lief Erikson Drive to the Columbia River Pierhead Line); add Neighborhood Greenway Overlay zone; add design standards for multi-family development; add design guidelines for residential and non-residential development; miscellaneous related changes with new code references in Sections 1.300, 3.180.D, 3.190.F, 9.100.B, 14.010; and rezone the existing A-3 (Aquatic Conservation) to A-4 (Aquatic Natural) zone. Amend the Comprehensive Plan Sections CP.080 & CP.085, Alderbrook Area; CP.175.F, Columbia River Estuary Aquatic and Shoreland Designations; add CP.150.B.20, Aquatic Natural Conditional Uses. Add Neighborhood Greenway Overlay Zone to Land Use and Zoning Map.

- C. Location: City-wide within the Neighborhood Greenway Plan Area

II. BACKGROUND

In 2008-2009, the City of Astoria developed the Riverfront Vision Plan (RVP) to address issues dealing with open space, land use, and transportation along the Columbia River. Significant public involvement opportunities were designed to gain public input. This process was initiated to plan for these issues in a comprehensive manner and to set a framework for the future of the study area. The City's north Riverfront (Columbia River to West Marine / Marine Drive / Lief Erikson Drive) was divided into four Plan areas of development: Bridge Vista (Portway to 2nd Street), Urban Core (2nd to 16th Street), Civic Greenway (16th to 41st Street), and Neighborhood Greenway (41st Street to east end of Alderbrook Lagoon).

During the Plan development, four community-wide forums, three open houses, and numerous community meetings were held at various locations within the four Plan areas. In addition, staff and/or consultants conducted stakeholder interviews, distributed and tabulated surveys. Development of the Vision Plan was structured to gain as much public input as possible. On December 7, 2009, after holding a final public hearing, the City Council accepted the Riverfront Vision Plan. For Fiscal Years 2011-2012, 2012-2013, 2013-2014, and 2014-2015, the City Council set goals to “Implement Riverfront Vision Plan on a Zone by Zone Basis.”

With the completion of Phase 1 (Civic Greenway Area) and Phase 2 (Bridge Vista Area), staff has begun work on Phase 3 (Neighborhood Greenway Area). This Area encompasses the Alderbrook neighborhood north of Lief Erikson Drive to the pier headline between 41st Street and approximately 54th Street.

The City was notified that funding from the Department of Land Conservation and Development (DLCD) Coastal Management Technical Assistance Grants for the FY 2014-2015 grant cycle was awarded to the City to assist in code writing for implementation of Phase 3 of the Astoria Riverfront Vision Plan for the Neighborhood Greenway Area (41st Street to 54th Street). The grant funds need to be expended and the project complete by December 31, 2015.

The consultant team identified to work on this project is Angelo Planning Group. One of the project team members is Matt Hastie, who was directly involved in development of the Riverfront Vision Plan. The project includes public involvement opportunities held during Planning Commission work sessions. The final product would be code amendments and land use zoning map amendments which would ultimately be presented to the City Council for consideration of adoption.

Staff and the project team drafted preliminary code amendment language to address selected code issues for the Neighborhood Greenway Plan Area. The project team conducted a Town Hall meeting for interested community members on August 20, 2015. Approximately 70 people attended and provided staff with the initial public comments and questions. The Planning Commission held two public work sessions (September 1, 2015, and September 16, 2015) on the draft amendments with mailed, e-mailed, and published notification to the general public and to anyone who has expressed interest in the Riverfront Vision Plan implementation process. Updates were provided to the City Council on the progress made to date on July 27, 2015 and August 31, 2015. The work sessions have been well attended and public comments have been provided.

The RVP for the Neighborhood Greenway Plan Area identified Land Use Assumptions and Objectives which state that *“It is expected that very little overwater development will occur in the Neighborhood Greenway area in the future other than small-scale improvements such as docks or piers (or improvements to the River Trail trestle) which would enhance the general public access to the river.”* The objectives of the RVP for this area include:

- Highlight the river’s natural edge by framing views and creating path/trail systems that reflect the river’s movement.

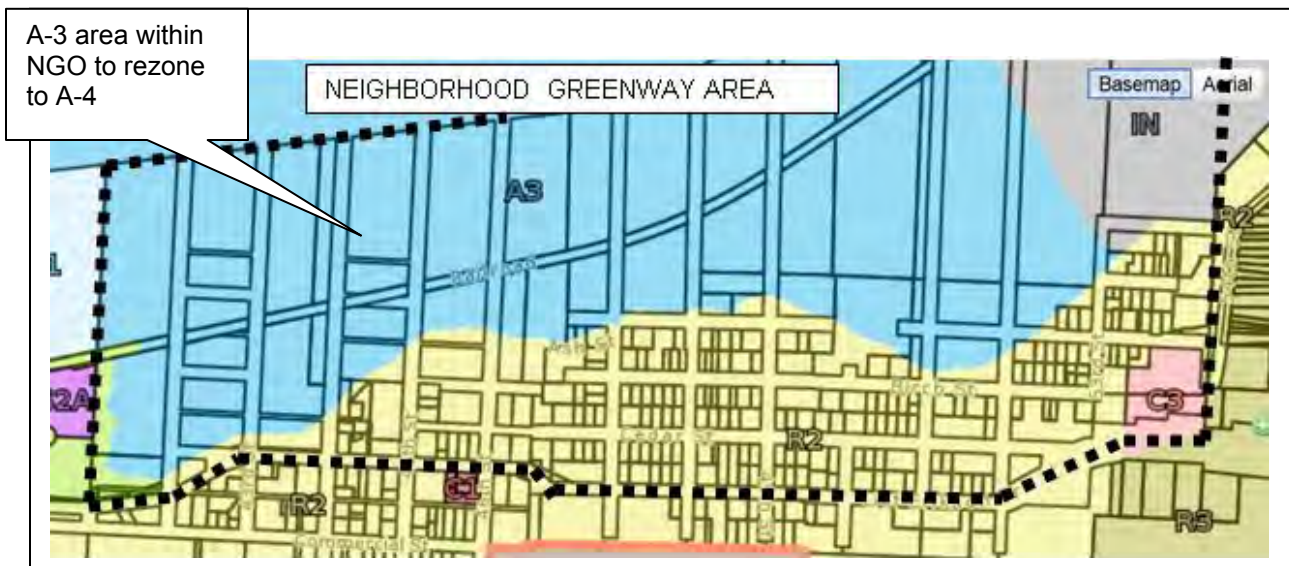
- Emphasize natural features and beauty along the edge of the river and lagoon.
- Use plantings and landscaping that provide riverbank restoration and increase habitat.
- Respect and protect the visual character of the Alderbrook Neighborhood.
- Minimize impacts of pedestrians on neighborhood residents.
- Protect river vistas to maintain physical and visual connection to the Columbia River.
- Create and maintain a sense of openness to enhance connections to the Columbia River and the Neighborhood Greenway area and improve the quality of residential areas. Open spaces should range from smaller, more intimate spaces to larger gathering places.
- Encourage maritime related uses consistent with Astoria's working riverfront such as docks, piers, marinas, and associated uses that provide jobs and maintain a historic connection to the river.

Throughout the RVP implementation process, the Planning Commission (APC) focused on these Assumptions and Objectives and did not attempt to change the Vision Plan as adopted.

At the work sessions, the Planning Commission ultimately provided guidance and recommendations on a set of proposed amendments to implement the Neighborhood Greenway Plan Area. Implementation of recommendations from the Riverfront Vision Plan in the Neighborhood Greenway Plan Area will take the form of Zoning Map amendments, Development Code amendments, and Comprehensive Plan amendments.

Proposed map amendments will include:

1. Rezone the aquatic parcels between 41st and approximately 54th Streets, from the shoreline to the pier head line from A-3 (Aquatic Conservation) to A-4 (Aquatic Natural).
2. Apply the new Neighborhood Greenway Overlay (BVO) Zone to the Neighborhood Greenway Plan Area.



Proposed Development Code text amendments will include:

1. Add a new Neighborhood Greenway Overlay Zone to address the standards for over-water development including structure height and width, allowable uses, and landscaping, etc.
2. Add new design standards for multi-family development in the Neighborhood Greenway Plan Area.
3. Add new design guidelines for multi-family residential and non-residential development in the Neighborhood Greenway Plan Area.
4. Establish landscaping standards for multi-family residential and non-residential construction/uses. There would be no landscaping standards for single-family and two-family dwellings.
5. Allow some exemptions for the few existing over-water buildings to continue to be viable businesses thereby preserving the historic structures.
6. Limit new, over-water development to maximum height of top of bank.
7. Make miscellaneous “housekeeping” amendments related to references to the above noted amendments.

Proposed Comprehensive Plan text amendments will include:

1. Update the description of the Alderbrook Area and reference the Neighborhood Greenway Overlay Area and Riverfront Vision Plan implementation.
2. Acknowledge the growing impact of traffic to the neighborhood.
3. Add a policy to investigate the possibility of extending the trolley to the Alderbrook area.

4. Change designation of aquatic area from conservation to natural, and amend allowable uses in the Aquatic Natural designated areas to include the exception for existing structures.

III. PUBLIC REVIEW AND COMMENT

A. Astoria Planning Commission

A public notice was mailed to Neighborhood Associations, various agencies, and interested parties on October 2, 2015. In accordance with ORS 227.186(5), a notice was mailed on October 2, 2015 to all property owners within the area and within 250' of the area proposed for the code and map amendments advising that ". . . the City of Astoria has proposed a land use regulation that may affect the permissible uses. . ." of their or other property. In accordance with Section 9.020, a notice of public hearing was published in the Daily Astorian on October 20, 2015. The proposed amendment is legislative as it applies City-wide.

B. State Agencies

Although concurrence or approval by State agencies is not required for adoption of the proposed amendments, the City has provided a copy of the draft amendments to representatives of the Oregon Departments of Transportation (ODOT), Land Conservation and Development (DLCD) and Department of State Lands (DLS) as part of the planning process.

IV. FINDINGS OF FACT

- A. Development Code Section 10.020.A states that *"an amendment to the text of the Development Code or the Comprehensive Plan may be initiated by the City Council, Planning Commission, the Community Development Director, a person owning property in the City, or a City resident."*

Development Code Section 10.020.B states that *"An amendment to a zone boundary may only be initiated by the City Council, Planning Commission, the Community Development Director, or the owner or owners of the property for which the change is proposed."*

Finding: The proposed amendments to the Development Code, Comprehensive Plan, and Astoria Land Use and Zoning Map are being initiated by the Community Development Director. The City Council has identified implementation of the Riverfront Vision Plan in their yearly goals since 2011. In addition, the City Council established a FY 2015-16 goal to "Continue implementation of the Riverfront Vision Plan."

- B. Section 10.050.A states that *"The following amendment actions are considered legislative under this Code:*

1. *An amendment to the text of the Development Code or Comprehensive Plan.*
2. *A zone change action that the Community Development Director has designated as legislative after finding the matter at issue involves such a substantial area and number of property owners or such broad public policy changes that processing the request as a quasi-judicial action would be inappropriate.”*

Finding: The proposed amendment is to amend the text of the Astoria Development Code Article 2 concerning Use Zones, and Article 14 concerning Overlay Zones. The amendment would create new overlay zone standards. The request is also to amend the Astoria Land Use and Zoning Map to rezone the aquatic area from A-3 (Aquatic Conservation) to A-4 (Aquatic Natural). The proposed amendment is also to amend the text of the Comprehensive Plan relative to the Riverfront Vision Plan.

The proposed amendments are applicable to a large area of the City and represent a relatively broad policy change. Processing as a legislative action is appropriate.

- C. Section 10.070.A.1 concerning Text Amendments, requires that *“The amendment is consistent with the Comprehensive Plan.”*

1. CP.005.5, General Plan Philosophy and Policy Statement states that local comprehensive plans *“Shall be regularly reviewed, and, if necessary, revised to keep them consistent with the changing needs and desires of the public they are designed to serve.”*

Finding: The City accepted the Riverfront Vision Plan in 2009 as a long-range planning framework to address the changing needs and desires of the citizens concerning Riverfront development and the need to protect the environment. The City Council directed staff to initiate Development Code amendments to implement the Plan recommendations.

2. CP.010.2, Natural Features states that *“The City will cooperate to foster a high quality of development through the use of flexible development standards, cluster or open space subdivisions, the sale or use of public lands, and other techniques. Site design which conforms with the natural topography and protects natural vegetation will be encouraged. Protection of scenic views and vistas will be encouraged.”*

Finding: The proposed amendments will implement the Riverfront Vision Plan for the Neighborhood Greenway Area. The amendments include design standards for residential development, design guidelines for non-residential development, protection of scenic views and vistas, and protection of the natural aquatic areas.

3. CP.015.1, General Land & Water Goals states that *“It is the primary goal of the Comprehensive Plan to maintain Astoria's existing character by*

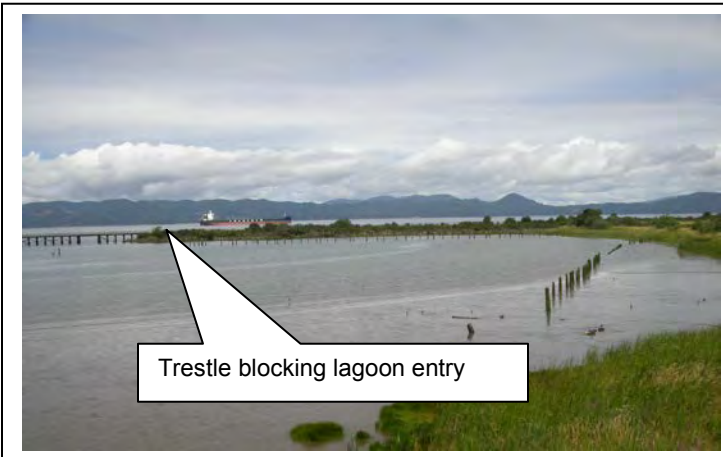
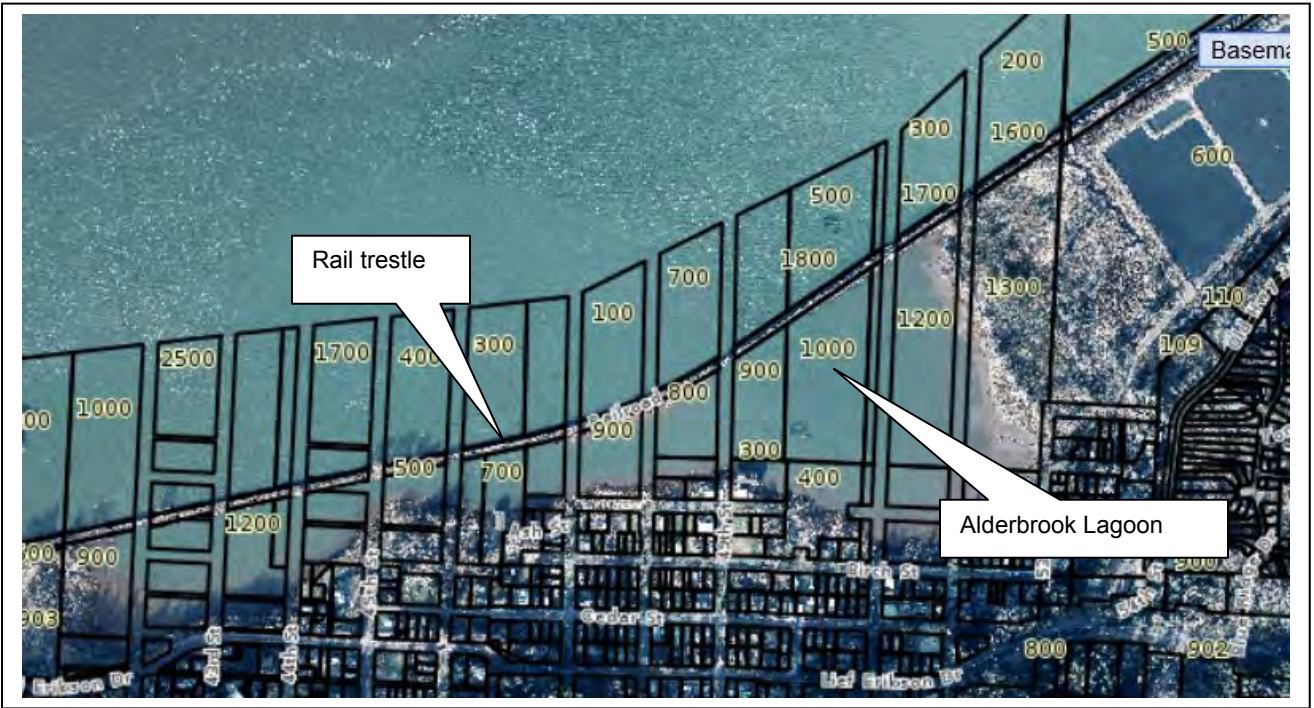
encouraging a compact urban form, by strengthening the downtown core and waterfront areas, and by protecting the residential and historic character of the City's neighborhoods. It is the intent of the Plan to promote Astoria as the commercial, industrial, tourist, and cultural center of the area.”

CP.015.1, General Land & Water Goals states that *“Because of the City's strong water orientation, the Plan supports continuing regional efforts to manage the Columbia River estuary and shorelands. The City's land use controls, within this regional context, will be aimed at protecting the estuary environment and at promoting the best use of the City's shorelands.”*

Finding: The proposed amendments create development standards for over-water construction and establish design standards and guidelines to protect the character of the Alderbrook residential neighborhood. This addresses the need to encourage a compact urban form. The design and landscaping standards protect the historic character of the City and waterfront areas. The reduction in allowable uses and development on parcels extending over the water, and the use of native vegetation will help protect the estuary environment. The proposed ordinance is intended to provide the guidance to help achieve these goals.

4. CP.203, Economic Development Goal 4 and Goal 4 Policies, goal states *“Continue to encourage water-dependent industries to locate where there is deep water, adequate back-up space, and adequate public facilities.”* Policies states *“1. Maintain areas of the City in order to provide sufficient land for water dependent as well as non-water dependent industries.”*

Finding: The aquatic area in the Neighborhood Greenway Area is known as Alderbrook Lagoon. The shallow lagoon is blocked from access by large vessels due to the railroad trestles. The lagoon could accommodate small vessels such as canoes and kayaks. The area does not have sufficient upland area that is zoned to support water-dependent industries as there is no shoreland zone and the land area is zoned R-2 (Medium Density Residential). In addition, the lagoon is currently zoned A-3 (Aquatic Conservation which does not support development.



The proposed rezone to A-4 (Aquatic Natural) would eliminate a few allowable uses such as marinas, aquaculture facilities, low-intensity water-dependent commercial or industrial uses, and in-water log storage. However, as noted above, the area is not conducive to such development due to physical and access constraints and upland zoning. Public piers and docks would still be allowed to accommodate the smaller vessels.

The requirements for shoreland and estuary development in Development Codes Articles 4 and 5 would remain applicable to any development in this area.

- 5. CP.210.1, Economic Element, Economic Development Recommendations, states that *“In the City’s waterfront areas, the City will continue to promote a combination of tourist oriented development, industrial development associated with the City’s working waterfront and water-related and dependent industries, and distribution and sales of goods and services for*

Astoria residents and businesses. These efforts will be guided by and consistent with the Astoria Riverfront Vision Plan.”

Finding: As noted above, this area of the waterfront is not conducive to development and is not accessible to the Columbia River for large vessels. The Riverfront Vision Plan for this area recognizes the value of the natural setting and identifies the following related goals:

- *“Emphasize natural features and beauty along the edge of the river and lagoon.*
- *Respect and protect the visual character of the Alderbrook Neighborhood.*
- *Protect river vistas to maintain physical and visual connection to the Columbia River.*
- *Create and maintain a sense of openness to enhance connections to the Columbia River and the Neighborhood Greenway area and improve the quality of residential areas. Open spaces should range from smaller, more intimate spaces to larger gathering places.*
- *Encourage maritime related uses consistent with Astoria’s working riverfront such as docks, piers, marinas, and associated uses that provide jobs and maintain a historic connection to the river.”*

The Vision Plan emphasizes the natural features and openness and while it notes encouragement of maritime related uses, the lagoon cannot support more intense uses such as marinas due to its shallow depth, lack of upland support areas, and limited access from the Columbia River. The proposed rezone to A-4 (Aquatic Natural) would preserve the natural features while still allowing the lower impact uses such as docks and piers for small vessels.

6. CP.025.2, Policies Pertaining to Land Use Categories and Density Requirements, states that *“Changes in the land use and zoning map may be made by boundary amendment so long as such change is consistent with the goals and policies of the Comprehensive Plan.*

Factors to be considered when evaluating requests for zoning amendments will include compatibility with existing land use patterns, effect on traffic circulation, adequacy of sewer, water and other public facilities, contiguity to similar zones, proposed buffering, physical capability including geologic hazards, and general effect on the environment.”

Finding: Consistency with the goals and policies of the Comprehensive Plan are addressed in this Section of the Findings of Fact. The factors are addressed in this Section and Sections D & E below of the Findings of Fact.

7. CP.085.2, Alderbrook Area Policies, states that *“The residential character of Alderbrook will be protected through the designation of the aquatic area from 41st Street to Tongue Point as conservation, and by the present zoning pattern. Development in the 100-year flood area shall be subject to the requirements of the City's Flood Hazard Overlay Zone.”*

CP.175.B, Uppertown / Alderbrook Subarea Plan, Aquatic Features, states that *“The aquatic portions of this subarea include open water and nearshore habitats in the river and Alderbrook Cove. The aquatic characteristics of the open water areas are similar to the adjacent channel (see Estuary Channels Subarea Plan). In the nearshore habitats, sediments become finer and benthic infauna productivity higher. A 1980 study reported high densities of amphipods in nearshore areas of the subarea. Juvenile fall Chinook salmon migrate in the shallow nearshore habitats. Alderbrook Cove contains fine sediments and probably has high benthic productivity. The Cove is partially fringed by low elevation tidal marshes. Bird use on the marshes and adjacent tidal flats is high.”*

CP.175.F, Uppertown / Alderbrook Subarea Plan, Aquatic and Shoreland Designations, states that *“The aquatic area between 29th and 41st Streets is designated Development to the pierhead line, except at the East End Mooring Basin where the designation corresponds to the outer boundary of the pier. East of 41st Street, the aquatic area is designated Conservation...”*

Finding: The current designation as “Conservation” does allow for some minor development. The goal of the Riverfront Vision Plan is to protect the natural features of this area. The area is proposed to be rezoned to “Natural” which is similar but restricts some of the more intrusive human uses. Sections CP.085.2 and CP.175.F of the Comprehensive Plan is proposed to be amended to state that the area from 41st to approximately 54th Street be designated as “Natural”.

8. CP.175.G.1, Uppertown / Alderbrook Subarea Plan, Subarea Policies, states that *“The Alderbrook area has unique characteristics and values. Plan amendments which would allow higher-intensity uses than those now present are discouraged.”*

CP.150.B, Permitted Uses in Columbia River Estuary Aquatic and Shoreland Designations, Natural Aquatic, states that *“Natural Aquatic areas are designated to assure the protection of significant fish and wildlife habitats; of continued biological productivity within the estuary; and of scientific, research, and educational needs. These areas are managed to preserve natural resources in recognition of dynamic, natural, geological, and evolutionary processes. Natural Aquatic areas include all major tidal marshes, tide flats, and seagrass and algae beds. The designation is intended to preserve those aquatic natural resource systems existing relatively free of human influence.”*

CP.150.C.29, Permitted Uses in Columbia River Estuary Aquatic and Shoreland Designations, Conservation Aquatic, lists the following as an allowable use *“In pile supported buildings existing as of October 1, 2002, non-water dependent and non-water related uses.”*

Finding: Currently, there are a few over-water buildings that have existed for over 100 years. In 2002, the City amended (A02-02) the Development Code for the A-3 Zone and the Comprehensive Plan to allow these buildings to be used for other than maritime related uses. At that time, there were three buildings, all within the Alderbrook lagoon, and which were separated from the main Columbia River channel by the railroad tracks. If the Lagoon is rezoned to A-4, it is proposed that the same allowable use notation would be included in the A-4 Zone and in Section CP.150.D for the Natural Aquatic designation. The only buildings that would be affected by this amendment would be the same three buildings as in 2002.

9. CP.068, Astoria Riverfront Vision Overlay Area Policies, states that

- “1. Promote physical and visual access to the river. The overall Comprehensive Plan objectives are to:*
- a. Maintain current areas of open space and create new open space areas.*
 - b. Provide for public access to the river within private developments.*
 - c. Retain public ownership of key sites along the riverfront.*
 - d. Protect view sheds along the river, including corridors and panoramas from key viewpoints.*
 - e. Use alternative development forms (e.g., clustered development, narrower, taller profiles, setbacks, stepbacks, and gaps in building frontages) to preserve views.”*

Finding: The proposed amendments implement the Riverfront Vision Plan. They identify areas for limited development to top of bank height maximum to minimize their impact on public access and the preservation of the natural features.

- “2. Encourage a mix of uses that supports Astoria's "working waterfront" and the City's economy. The overall Comprehensive Plan objectives are to:*
- a. Maintain the authentic feel of the riverfront.*
 - b. Prioritize siting of water-related businesses along the river.*
 - c. Allow for some residential development along the riverfront, emphasizing smaller-scale work force (moderate income) housing.*
 - d. Allow for development that supports downtown and other commercial areas.*
 - e. Limit development in areas with most significant impacts on open space, view or other resources.*
 - f. Promote uses that provide jobs and support the local economy.”*

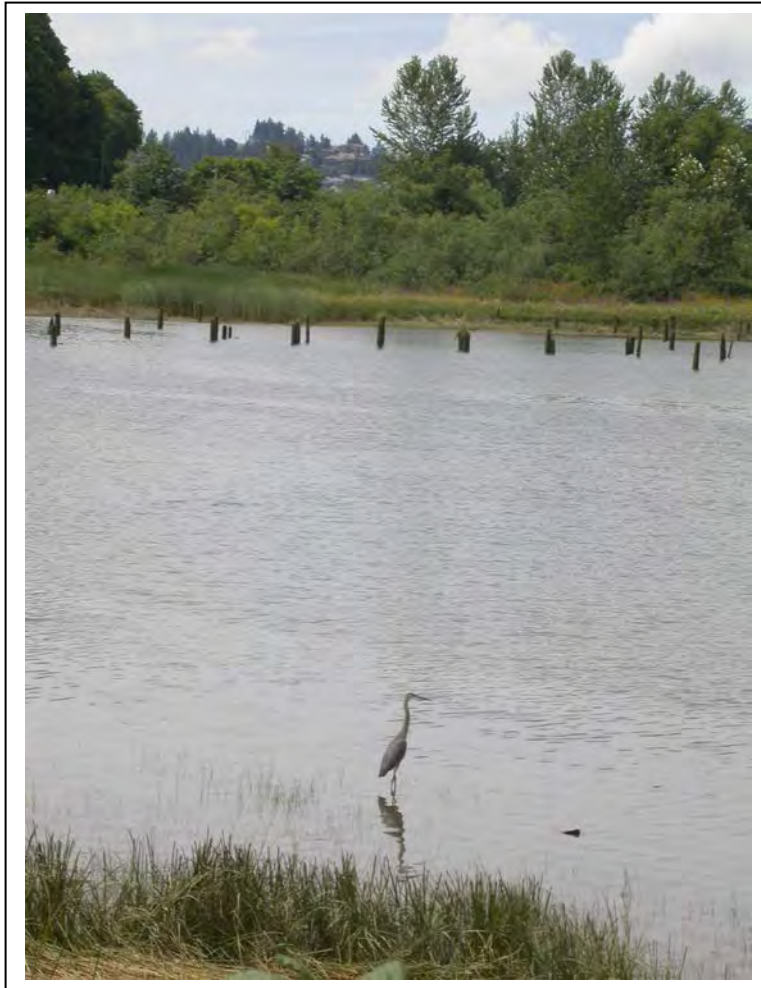
Finding: The proposed amendments include rezoning of the aquatic area from A-3 to A-4 to further preserve the natural features. Opportunities for a variety of uses that support the City's working waterfront have been integrated in Comprehensive Plan policies and Development Code provisions for the Civic Greenway and Bridge Vista areas, with similar provisions possibly proposed to be applied in the Urban Core area in a future code amendment process for that area.

- "3. *Support new development that respects Astoria's historic character. The overall Comprehensive Plan objectives are to:*
- a. *Enhance or refine Development Code to achieve vision principles.*
 - b. *Implement design review, design standards, or other tools to guide the appearance of new development.*
 - c. *Devote resources to rehabilitating old structures."*

Finding: The proposed amendments would create clear and objective design review standards for multi-family development and design review guidelines for multi-family residential and non-residential development that reflect the character of the Alderbrook. The proposal would allow for repair, restoration, and reconstruction of existing over-water buildings.

- "4. *Protect the health of the river and adjacent natural areas. The overall Comprehensive Plan objectives are to:*
- a. *Protect natural areas for wildlife viewing.*
 - b. *Replace invasive plants with native species.*
 - c. *Incorporate natural elements in the design of future public and private improvements."*

Finding: The proposed amendments would encourage the use of native plants along the Riverfront using the list of recommended plants listed in Development Code Article 3. Landscaping requirements would encourage and/or require placement of plant material that would enhance the riverfront and viewing opportunities. The Alderbrook Lagoon area is proposed to have a maximum height limit of top of bank and be rezoned from A-3 (Aquatic Conservation) to A-4 (Aquatic Natural) to further protect the natural features.



- “5. *Enhance the River Trail. The overall Comprehensive Plan objectives are to:*
- a. *Maintain, repair, extend, and enhance the River Trail.*
 - b. *Provide better pedestrian connections between the downtown and the riverfront.*
 - c. *Create amenities such as shelters, lighting, and public restrooms in targeted locations.*
 - d. *Ensure adequate parking opportunities along, adjacent to, and near the riverfront.*
 - e. *Address safety issues associated with mix of autos, pedestrians, trolley, and other activities.*
 - f. *Ensure long-term maintenance of public improvements.”*

Finding: River Trail construction in Alderbrook is completed. The proposed amendments would establish design and siting standards and guidelines to protect the River Trail from incompatible encroachments. It would require public access to the riverfront, require recorded maintenance agreements for certain landscaping features, and allow for the continuation of the River Trail. The amendments would also allow some flexibility in landscaping by allowing a percentage to be devoted to public amenities such as benches, restrooms, interpretive signage, etc.

10. CP.185.H, Regional Estuary and Shoreland Policies, Fisheries and Aquaculture Policies, states that *“Policies in this subsection apply to all projects that could conceivably affect fisheries (either commercial or recreational) or aquaculture in the Columbia River Estuary. This subsection is also applicable to the development of aquaculture facilities and to fisheries enhancement projects. . .*
 2. *Sufficient space for present and anticipated needs shall be reserved for the following uses:*
 - Fishing vessel moorage;*
 - Seafood receiving and processing;*
 - Boat repair;*
 - Gear storage;*
 - Ice making;*
 - Cold storage;*
 - Other seafood industry support facilities. . .*
 7. *A number of sites in Astoria and throughout the Columbia River Estuary are suitable for development or expansion of facilities for the commercial seafood industry. These include moorage, fuel, ice, fish receiving and processing, gear storage, marine hardware sales and repair, boat building and repair, and related facilities. The City will periodically consider amending its Comprehensive Plan as needed to provide sufficient sites for these facilities. The City will rely on information in periodic updates of the Columbia River Estuary Regional Management Plan pertaining to fisheries-related development in the estuary.*

Finding: The Alderbrook Lagoon area is currently zoned A-3 and proposed to be rezoned to A-4. Development in either zone is limited. The following uses currently allowed in the A-3 zone would be eliminated with the A-4 Zone: water-dependent parts of an aquaculture facility; high-intensity water-dependent recreation including boat ramp, marina, and individual dock; mining and mineral extraction; low-intensity water-dependent commercial or industrial use requiring occupation of water-surface area by means other than fill; and in-water log storage. As noted earlier, the Lagoon is shallow, not accessible from the Columbia River by large vessels, and does not have sufficient upland area to support development. Other areas of the Riverfront are better suited to this type of development and the City currently allows for those types of development in those areas. The Lagoon is more appropriate as a natural area as identified in the RVP.

11. CP.185.O, Residential, Commercial and Industrial Development Policies, states that *“Policies in this subsection are applicable to construction or expansion of residential, commercial or industrial facilities in Columbia River Estuary shoreland and aquatic areas. Within the context of this subsection, residential uses include single and multifamily structures, mobile homes, and floating residences (subject to an exception to Oregon Statewide Planning Goal 16). Duck shacks, recreational vehicles, hotels,*

motels and bed-and-breakfast facilities are not considered residential structures for purposes of this subsection. Commercial structures and uses include all retail or wholesale storage, service or sales facilities and uses, whether water-dependent, water-related, or non-dependent, non-related. Industrial uses and activities include facilities for fabrication, assembly, and processing, whether water-dependent, water-related or non-dependent, non-related.

1. *New non-water-dependent uses in aquatic areas and in Marine Industrial Shorelands shall not preclude or pose any significant conflicts with existing, proposed or probable future water-dependent uses on the site or in the vicinity.*
2. *Residential, commercial or industrial development requiring new dredging or filling of aquatic areas may be permitted only if all of the following criteria are met:*
 - a. *The proposed use is required for navigation or other water-dependent use requiring an estuarine location, or if specifically allowed in the applicable aquatic designation; and*
 - b. *A substantial public benefit is demonstrated; and*
 - c. *The proposed use does not unreasonably interfere with public trust rights; and*
 - d. *Feasible alternative upland locations do not exist; and*
 - e. *Potential adverse impacts are minimized.”*

Finding: The proposed amendments would limit the allowable uses in the aquatic area to uses that would support the Natural designation. Uses would be limited to maximum top of bank height which would accommodate piers, docks, and low-impact recreation in the Lagoon. Commercial development would be restricted to the land area within the R-2 Zone. These proposed uses are consistent with this Comprehensive Plan section which protects the waterfront area for the low-impact marine uses. Any project proposed would be subject to compliance with this section at the time of project proposal.

12. CP.186.C, Cumulative Impacts, Cumulative Impact Analysis, states that

1. *Public Access.*

Activities generating cumulative impacts on public access can both enhance and reduce opportunities for public access to the waters and shorelines of the Columbia River Estuary. Public access is treated broadly here to include both physical and visual access. . .

Boat ramps and marinas have a strongly beneficial cumulative impact on public access for the boating public. Private individual moorages on the other hand can have negative cumulative impacts with respect to public access if allowed to overcrowd particular waterways. Continuous development of individual moorages along a reach of the Columbia River Estuary or a tributary can block public

shoreline access and inhibit small boat navigation, having a strongly negative cumulative impact. The regional estuarine construction policies and standards encourage community docks and piers and discourage individual moorages. . .

5. *Recreation/Tourism.*

Discussion of cumulative impacts on recreation and tourism includes estuary-oriented recreation undertaken by both local residents and by visitors from outside the region. Many impacts may be largely aesthetic in nature. . .

Boat ramps, marinas, and moorages have a generally positive impact on recreation and tourism, though there may also be a negative aesthetic component. The net cumulative impact is probably positive, however, because the estuary is large relative to the extent of existing recreational boat facilities. . .

Finding: The proposed amendments would limit the Alderbrook Lagoon to low-impact water-related and water-dependent uses such as small boat docks and ramps. It would also limit the height to top of bank to protect the important public view and natural character of the area, consistent with RVP objectives. This would support boat ramps, etc. that are considered to be a positive impact on recreation and tourism. The proposed amendments are intended to minimize the cumulative negative impacts along the Riverfront by preserving some vistas and views.

The cumulative impacts of the River Trail and Alderbrook Lagoon Park development to the neighborhood should be considered. Alderbrook has several dead end streets especially around the Park area. A Comprehensive Plan amendment is proposed that recognizes this issue.

13. CP.185.M, Regional Estuary and Shoreland Policies, Public Access Policies, states that *"Public access" is used broadly here to include direct physical access to estuary aquatic areas (boat ramps, for example), aesthetic access (viewing opportunities, for example), and other facilities that provide some degree of public access to Columbia River Estuary shorelands and aquatic areas."*

CP.185.M.2 to M.5, Regional Estuary and Shoreland Policies, Public Access Policies, states that

- "2. Public access in urban areas shall be preserved and enhanced through waterfront restoration and public facilities construction, and other actions consistent with Astoria's public access plan.*
- 3. Proposed major shoreline developments shall not, individually or cumulatively, exclude the public from shoreline access to areas traditionally used for fishing, hunting or other shoreline activities.*

4. *Special consideration shall be given toward making the estuary accessible for the physically handicapped or disabled.*
5. *Astoria will develop and implement programs for increasing public access.”*

CP.185.N.2, Regional Estuary and Shoreland Policies, Recreation and Tourism Policies, states that *“Recreation uses in waterfront areas shall take maximum advantage of their proximity to the water by: providing water access points or waterfront viewing areas; and building designs that are visually u {typo from original ordinance} with the waterfront.”*

CP.204, Economic Development Goal 5 and Goal 5 Policies, Goal states *“Encourage the preservation of Astoria's historic buildings, neighborhoods and sites and unique waterfront location in order to attract visitors and new industry.”* The Policy 1 states *“Provide public access to the waterfront wherever feasible and protect existing access. The importance of the downtown waterfront in terms of aesthetics, public access and business improvement cannot be overemphasized. The City supports the concept of the "People Places Plan," and encourages local organizations in the construction and maintenance of waterfront parks and viewing areas.”*

Finding: One of the reasons the Riverfront Vision Plan was developed was to enhance public access to the estuary and allow for preservation of public open space and park areas along the Columbia River. Public access includes both physical and visual access. The River Trail along the Columbia River is used by locals as well as visitors and is maintained for its aesthetic values as well as for its transportation values. The Neighborhood Greenway Area was identified as an area to emphasize the natural features and allow minimal over-water development while preserving visual and public access. The Urban Core Area was identified for more intense development, Bridge Vista for mixed development and open space, and the Civic Greenway Area was identified for more open space. The proposed rezone to A-4 would protect the natural features and promote public access.

The proposed implementation of the RVP will allow for limited over-water development of minimal maritime related facilities while protecting public visual and physical access to the River. The maximum height of structures is proposed to be at existing shoreline bank height which would limit the type of development that could occur.

The existing over-water structures are proposed to be allowed to continue and include uses that would provide access to the River by the public. The proposed amendment would limit those uses to the existing structures only.

14. CP.185.G, Estuary and Shoreland Policies states that *“This subsection applies to uses and activities with potential adverse impacts on fish or wildlife habitat, both in Columbia River estuarine aquatic areas and in estuarine shorelands.*

1. *Endangered or threatened species habitat shall be protected from incompatible development.*
2. *Measures shall be taken protecting nesting, roosting, feeding and resting areas used by either resident or migratory bird populations.*
3. *Major nontidal marshes, significant wildlife habitat, coastal headlands, and exceptional aesthetic resources within the Estuary Shorelands Boundary shall be protected. New uses in these areas shall be consistent with the protection of natural values, and may include propagation and selective harvest of forest products, grazing, harvesting, wild crops, and low intensity water-dependent recreation.”*

CP.460.1, Natural Resource Policies states that *“The Plan land and water use designations will protect those areas that have high natural value, and direct intensive development into those areas that can best support it.”*

CP.460.3, Natural Resource Policies states that *“The City recognizes the importance of "trade offs" that must occur in the planning process. Although certain estuary areas have been designated for intensive development, other areas will be left in their natural condition in order to balance environmental and economic concerns.”*

Finding: The Alderbrook Lagoon is a significant wildlife habitat area. The proposed amendment to rezone the Lagoon to A-4 allows for some over water development while excluding high-intensity commercial uses that could be located elsewhere on land areas. This zone change would further protect the natural features and wildlife area. It encourages and/or requires the use of native plants along the Riverfront. The standards maintain open areas for protection of the estuary habitat and to maintain vistas and views.

15. CP.204.3 & CP.204.4, Economic Development Goal 5 and Goal 5 Policies, Goal states *“Encourage the preservation of Astoria's historic buildings, neighborhoods and sites and unique waterfront location in order to attract visitors and new industry.”* The Policies state

3. *Encourage the growth of tourism as a part of the economy.*
 - a. *Consider zoning standards that improve the attractiveness of the City, including designation of historic districts, stronger landscaping requirements for new construction, and Design Review requirements.*
4. *Protect historic resources such as downtown buildings to maintain local character and attract visitors.”*

CP.250.1, Historic Preservation Goals states that *“The City will Promote and encourage, by voluntary means whenever possible, the preservation, restoration and adaptive use of sites, areas, buildings, structures, appurtenances, places and elements that are indicative of Astoria's historical heritage.”*

CP.250.3, Historic Preservation Goals states that *“The City will Encourage the application of historical considerations in the beautification of Astoria's Columbia River waterfront.*

CP.200.6, Economic Development Goals states that the City will *“Encourage the preservation of Astoria's historic buildings, neighborhoods and sites and unique waterfront location in order to attract visitors and new industry.”*

CP.205.5, Economic Development Policies states that *“The City encourages the growth of tourism as a part of the economy. Zoning standards which improve the attractiveness of the city shall be considered including designation of historic districts, stronger landscaping requirements for new construction, and Design Review requirements.”*

Finding: The proposed amendments will adopt design standards to allow for development that is consistent with the design of the residential Alderbrook Area. This neighborhood has many older buildings similar to other parts of Astoria, but has not been inventoried for historic designation. However the unique characteristic of this neighborhood is proposed to be protected by the addition of design standards for multi-family dwellings and design guidelines for non-residential development that is compatible with the existing development within the area. No standards are proposed for the single-family and/or two-family residential development.

The River and River Trail are important tourism/economic assets for the City and will be protected from incompatible development with the proposed amendments. The proposed amendments exempt the existing historic over water buildings from some of the requirements so as to encourage and support the restoration and adaptive reuse of these buildings. However, additions to these buildings would be subject to the proposed development standards. The code would also protect the scenic views of the Columbia River waterfront with a top of bank height limitation for over-water development.

16. CP.270, Parks, Recreation, and Open Space Element, Goals states that *“The City of Astoria will work:*
1. *To develop a balanced park system.*
 2. *To reflect Astoria's special qualities and characteristics. . .*
 5. *To provide or encourage waterfront parks. . .*
 7. *To promote general beautification. . .*
 12. *The City will continue its efforts to improve public access to the shoreline through:*
 - a. *The construction of public access points, pathways, and street ends;*
 - b. *The encouragement of public access projects in conjunction with private waterfront development actions, possibly through the use of local improvement districts and/or grant funds; and*
 - c. *The protection of street ends and other public lands from vacation or sale where there is the potential for public access*

to the water. The City will work with the Division of State Lands (DSL) to determine the status of submerged and submersible lands adjacent to the City street ends.”

Finding: The City has established a River Trail along the Columbia River as a City park. The Riverfront Vision Plan identifies this as a public area and encourages protection of a portion of the public views and vistas in the Neighborhood Greenway Area. The RVP for the Neighborhood Greenway Planning Area identified Land Use Assumptions and Objectives which state *“Highlight the river’s natural edge by framing views and creating path/trail systems that reflect the river’s movement. Emphasize natural features and beauty along the edge of the river and lagoon. . . Protect river vistas to maintain physical and visual connection to the Columbia River. Create and maintain a sense of openness to enhance connections to the Columbia River and the Neighborhood Greenway area and improve the quality of residential areas. Open spaces should range from smaller, more intimate spaces to larger gathering places. . .”*

The proposed amendments address the design, location, height, etc. for development on both the water and land. The proposed amendments also address public amenities and the ability of a developer to provide specific public amenities in conjunction with their development and promote the general beautification of the waterfront area. The limitation of structure height and reduction in allowable uses in the Lagoon would protect the waterfront park from incompatible intrusions. There are three City-owned parks in the area. These properties would be protected as public access areas.

17. CP.470.1, Citizen Involvement states that *“Citizens, including residents and property owners, shall have the opportunity to be involved in all phases of the planning efforts of the City, including collection of data and the development of policies.”*

Finding: Throughout the process of drafting the proposed ordinance, the City has provided extensive public outreach. The APC has held two work sessions and one town hall meeting over the last two months with invitations and notices sent to interested parties, neighborhood associations, stakeholders, email lists, web site, etc. Anyone interested in the proposed ordinance was encouraged to submit suggestions and comments. Work sessions were open for discussion with the public to allow for interactive feedback at this early stage of the adoption process. The following is a list of public work sessions, public hearings, and newspaper articles concerning the draft ordinance. There were numerous “Letters to the Editor” in the Daily Astorian which are not listed.

August 19, 2015	Daily Astorian article “Town Hall Meeting set for Neighborhood Greenway
August 20, 2015	Town Hall Meeting
August 21, 2015	Daily Astorian article “Neighborhood Greenway gets closer look”

August 24, 2015	Daily Astorian editorial “Alderbrook discussion puts community wishes first”
September 1, 2015	APC work session
September 16, 2015	APC work session
October 27, 2015	APC public hearing

The City was very conscious of the interest in protection of the Riverfront and the need to have an ordinance that would meet the needs of the citizens, property owners, protect the environment and historic resources, be in compliance with State regulations, and would be a permit process that was easy for both the citizens and staff.

Finding: The request is consistent with the Comprehensive Plan.

- D. Section 10.070.A.2 concerning Text Amendments requires that *“The amendment will not adversely affect the ability of the City to satisfy land and water use needs.”*

Section 10.070.B.2 concerning Map Amendments requires that *“The amendment will: a. Satisfy land and water use needs; or . . .”*

Finding: The proposed amendment will satisfy land use needs in that it will allow for the development of private properties while protecting the vistas and views along the Neighborhood Greenway Area of the River Trail. The proposed amendment limits the allowable over-water development in this area thereby reducing some of the impacts associated with a more intensive development. The water area is zoned A-3 (Aquatic Conservation) with limited allowable development, all of which are maritime related. The area is proposed to be rezoned to A-4 (Aquatic Natural) which would eliminate a few of the more intensive uses and would better reflect the current condition of the enclosed shallow lagoon. No changes are proposed to the allowable uses on land.

An amendment to Comprehensive Plan Section CP.080, Alderbrook Area, is proposed to state *“However, the limited access into the Alderbrook Area from Lief Erikson Drive creates concerns with increased traffic to the area with no secondary vehicular outlets.”* which would acknowledge the existing transportation issues with the increase in traffic and a single access neighborhood. In addition, CP.085.8, Alderbrook Area Policies, is proposed to be amended by the addition to read as follows: *“8. Extension of the trolley service to the Alderbrook neighborhood should be investigated and considered.”* The possible addition of trolley service to the area would potentially provide an alternative mode of transportation thereby reducing the impacts on the transportation system.

Proposed lighting and open space landscaping standards would decrease impacts to Police and Fire protection services by the creation of appropriately lit and open areas. The Aquatic area was not included in the Buildable Lands Inventory as buildable area, and there are no proposed changes to the residential area, therefore, the proposed amendment will not adversely affect the ability of the City to satisfy land and water use needs.

- E. Section 10.070.B.2 concerning Map Amendments requires that *“The amendment will. . .*
- b. *Meet transportation demands. The amendment shall be reviewed to determine whether it significantly affects a transportation facility pursuant to Section -0060 of Oregon Administrative Rule (OAR) 660-012, the Transportation Planning Rule (TPR). When the City, in consultation with the applicable roadway authority, finds that a proposed amendment would have a significant effect on a transportation facility, the City shall work with the roadway authority and applicant to modify the request or mitigate the impacts in accordance with the TPR and applicable law; or*
 - c. *Provide community facilities and services.”*

Finding: The Neighborhood Greenway area is located on the north side of Lief Erikson Drive between 41st and approximately 54th. It is currently partially developed with mostly residences, but also includes a few commercial facilities such as Crest Motel, a construction company, art studio, Alderbrook Station over-water structure, and a few home occupations. There are three City park facilities. There are only a few undeveloped lots in the existing R-2 Zone as noted in the Buildable Lands Inventory, several of which are owned by the City. The aquatic area proposed for a map amendment fronts the River Trail and the Neighborhood Greenway Area of the Riverfront Vision Plan.

There are no traffic lights in this area. Alderbrook is generally accessed from Lief Erikson Drive (Hwy 30) at 45th Street. In accordance with Statewide Planning Goal 12 concerning Transportation, and the Transportation Planning Rule (TPR) (OAR 660-12-060), any plan amendment having a significant effect on a transportation facility (i.e. Highway 30) must assure that the allowed land uses are consistent with the function, capacity, and level of service of the facility. In addition, OAR 734-051-0080, and OAR 734-051-0100 state that a proposed development or land use action where an on-site review indicates that operational or safety concerns may be present requires a Traffic Impact Study.

The proposed rezone of the aquatic area would reduce a few of the more intense allowable uses and therefore would reduce potential transportation impacts associated with future development. Since no changes are proposed for the R-2 Zone, there are no changes to the transportation impacts associated with future development.

All City utility services are available to the area. There is no indication that operational or safety concerns are present, nor would they be increased as a result of the proposed uses on the existing transportation system. Any future development would be subject to a Traffic Impact Study as required by Development Code Article 3.

In April 2014, the City Council adopted the Transportation System Plan (TSP). This Plan was conducted by the City of Astoria in conjunction with the Oregon Department of Transportation (ODOT) and studied the existing and forecasted transportation needs in the City. The subject aquatic area proposed for rezone is located on north of the shoreline in the Alderbrook area which is north of Lief

Erikson Drive between 41st and 54th Street. There were several projects identified in the TSP for the Neighborhood Greenway Area as follows:

D-4 – US 30 Speed Warning System – Install a speed warning system that activates when a motorist approaches at a high speed

D-7 – US 30 / 45th Street Safety Enhancement – Install eastbound and westbound left-turn pockets on US 30

D-8 – US 30 / 54th Street Safety Enhancement – Provide an eastbound left turn pocket on US 30

D-37 – 54th Street-Old US Hwy 30 Upgrade – Improve to a Working collector street cross-section

CR-02 – US 30 and 45th Street – Upgrade existing crossing to the highest level pedestrian actuated beacon approved by ODOT

P-14 – Lief Erikson Drive (East) Sidewalk Infill – Complete sidewalk gaps on north side of the street from 46th to 50th and both sides from 50th to 54th

B-10 – 45th Street Shared Roadway Enhancements – Add wayfinding and shared lane markings

B-11 – 51st Street Shared Roadway Enhancements – Add wayfinding and shared lane markings

B-16 – Birch Street Shared Roadway Enhancements – Add wayfinding and shared lane markings

B-18 – Cedar Street Shared Roadway Enhancements - Add wayfinding and shared lane markings

These projects are aimed at pedestrian and bike safety and to create better vehicle and pedestrian circulation in the Neighborhood Greenway Area. The proposal to rezone the aquatic area to A-4 would not impact transportation and would be consistent with these projects

The area proposed to be zoned A-3 to A-4 is accessed from City streets and not directly from the State Highway. Therefore, ODOT would not typically comment on the TPR review. ODOT has been included in the draft amendment review process. Based on the existing TSP and projected traffic volumes and projected uses, the transportation facilities in this area, including any proposed future improvements, will be sufficient to accommodate the uses allowed in the proposed A-4 Zone areas.

- F. Oregon Administrative Rules Section 660-012-0060 (Plan and Land Use Regulation Amendments) states that:

1. *“(1) If an amendment to a functional plan, an acknowledged comprehensive plan, or a land use regulation (including a zoning map) would significantly affect an existing or planned transportation facility, then the local government must put in place measures as provided in section (2) of this rule, unless the amendment is allowed under section (3), (9) or (10) of this rule. A plan or land use regulation amendment significantly affects a transportation facility if it would:

(a) Change the functional classification of an existing or planned transportation facility (exclusive of correction of map errors in an adopted plan);”*

Finding: As shown in the attached draft Ordinance, Attachment B, the proposed Land Use and Zoning Map amendment consists of the following:

- Rezoning an aquatic area of A-3 (Aquatic Conservation) to A-4 (Aquatic Natural)

This area is adjacent to roadways including Ash Street, Alder Street, Birch Street, and the street ends of 45th through 53rd Streets. These rights-of-way are designated as “Residential Local Streets” as shown in Figure 15 (Multi-Modal Street System) of the 2013 City of Astoria Transportation System Plan (TSP). The proposed Land Use and Zoning Map amendment does not propose or necessitate changes to these classifications.

2. *“(b) Change standards implementing a functional classification system; or. . .”*

Finding: Section 6 of the Astoria TSP establishes design guidelines, spacing standards, and mobility targets for City streets based on functional classification. The proposed Land Use and Zoning Map amendment does not propose or necessitate changes to these guidelines, standards, or targets.

3. *“(c) Result in any of the effects listed in paragraphs (A) through (C) of this subsection based on projected conditions measured at the end of the planning period identified in the adopted TSP. As part of evaluating projected conditions, the amount of traffic projected to be generated within the area of the amendment may be reduced if the amendment includes an enforceable, ongoing requirement that would demonstrably limit traffic generation, including, but not limited to, transportation demand management. This reduction may diminish or completely eliminate the significant effect of the amendment.

(A) Types or levels of travel or access that are inconsistent with the functional classification of an existing or planned transportation facility;*

(B) *Degrade the performance of an existing or planned transportation facility such that it would not meet the performance standards identified in the TSP or comprehensive plan; or. . .”*

Finding: The proposed Land Use and Zoning Map amendment only affects the aquatic area known as Alderbrook Lagoon. It would reduce the allowable uses limiting some of the more intense commercial uses currently allowed. In general, as proposed, the amendment would allow similar uses or uses that are not expected to generate any more trips than existing zoning. The number of trips generated would be expected to decrease. Therefore, the proposed map amendment should not significantly change the character of land use and zoning in the area and, thus, the changes in zoning would not affect the types and levels of travel and performance of transportation facilities. More detailed information about specific changes in allowed uses is provided in Table E.1 which presents examples of uses currently permitted in the A-3 and A-4 Zones, as well as some uses that are proposed to be permitted or prohibited. The only change proposed for the A-4 Zone is to allow the existing over-water buildings as noted in the A-3 Zone to be allowed to continue. Since no new uses are proposed and a few of the more intense uses are eliminated, no additional analysis of the transportation impacts is required.

Table E.1 A-3 AQUATIC CONSERVATION and A-4 AQUATIC NATURAL ZONE Allowable Use Comparison

Use	A-3		A-4	
	Outright	Conditional Use	Outright	Conditional Use
Estuarine enhancement.	X			
Riprap for protection of use existing as of October 7, 1977, unique natural resources, historical or archeological resources, or public facility.	X			
Maintenance and repair of existing structure or facility.	X			X
Active restoration of fish habitat, wildlife habitat, or water quality.	X			X
Filling in conjunction with any of the permitted uses 1 through 4, above, pursuant to the applicable standards in Section 4.070.	X			X for repair of existing structure
Tidegate installation and maintenance in existing functional dike.	X		X	
Dredging to obtain fill material for dike maintenance pursuant to the dike maintenance dredging standards.	X			

Use	A-3		A-4	
	Outright	Conditional Use	Outright	Conditional Use
Pipeline, cable, and utility crossing.	X			X
Water-dependent parts of an aquaculture facility which do not involve dredge or fill or other estuarine alterations other than incidental dredging for harvest of benthic species or removable in-water structures such as stakes or racks.	X			
Dredging in conjunction with any of the permitted uses 1 through 9, above, pursuant to the applicable standards in Section 4.050.	X			X for specific conditional uses
Navigation aid.	X		X	
Communication facility.	X			X
Bridge crossing support structure.	X			X
Boat ramp for public use where no dredge or fill is needed for navigational access.	X			X
Undeveloped low intensity water-dependent recreation.	X		X	
Project for the protection of habitat, nutrient, fish, wildlife and aesthetic resources.	X			
Research and educational observation.	X		X	
Piling and pile supported structure in conjunction with any of the permitted uses 1 through 17 above.	X			X for specific conditional uses
Passive restoration.	X		X	
Bridge crossing.	X		X	
Transportation facilities, excluding electric car charging stations.	X			X
Aquaculture and water-dependent portions of aquaculture facility.		X		X limited to temporary removable structure
Active restoration for purposes other than protection of habitat, nutrient, fish, wildlife and aesthetic resources.		X		X
Temporary alteration.		X		X
Beach nourishment at sites designated in the Comprehensive Plan.		X		

Use	A-3		A-4	
	Outright	Conditional Use	Outright	Conditional Use
Filling in conjunction with conditional uses 1 through 4, above, pursuant to the applicable standards in Section 4.070.		X		X for specific conditional uses
High-intensity water-dependent recreation including boat ramp, marina, and individual dock.		X		
Minor navigational improvement.		X		
Mining and mineral extraction.		X		
Dredging in conjunction with any of the conditional uses 1 through 8, above, pursuant to the applicable standards in Section 4.050.		X		X for specific conditional uses
Low-intensity water-dependent commercial or industrial use requiring occupation of water-surface area by means other than fill.		X		
In-water log storage.		X		
Piling in conjunction with any of the conditional uses 1 through 11, above.		X		
Temporary use meeting the requirements of Section 3.240.		X		
In pile supported buildings existing prior to October 1, 2002, non-water-dependent or non-water-related uses as follows:		X		Proposed
a. Arts and crafts studios.		X		Proposed
b. Bed and breakfast, home stay lodging, or inn.		X		Proposed
c. Home occupation.		X		Proposed
d. Professional and business office, personal service establishment limited to beauty and barber services and garment alterations.		X		Proposed
e. Residential home.		X		Proposed
f. Single-family dwelling.		X		Proposed
g. Two-family dwelling.		X		Proposed
h. Multi-family dwelling.		X		Proposed
i. Off-street parking requirements for the above uses may be located in the upland zone		X		Proposed

Use	A-3		A-4	
	Outright	Conditional Use	Outright	Conditional Use
adjacent to the use. The Planning Commission may impose additional landscape buffering to protect the adjacent residential uses.				

4. *“(C) Degrade the performance of an existing or planned transportation facility that is otherwise projected to not meet the performance standards identified in the TSP or comprehensive plan.”*

Finding: As concluded in the Future Needs Analysis (Section H, Volume 2) in the Astoria TSP, *“In addition, the . . . US 30 / Nimitz Drive-Maritime Road intersections are expected to operate with a level of service “F” for the side street, even though they are expected to meet ODOT’s v/c target. . .”* This intersection is just east of the Neighborhood Greenway Area. It was also noted that in the area between the Astoria-Megler Bridge and Nimitz Drive-Maritime Road, *“Each of the segments along US 30 has more driveways and public street approaches than allowed to comply with the access spacing standards.”* Since no changes are proposed to the existing transportation system, and no new uses are proposed, criterion is not applicable.

Finding: The proposed amendments comply with the Oregon Administrative Rules Section 660-012-0060 (Plan and Land Use Regulation Amendments) requirements.

V. CONCLUSION AND RECOMMENDATION

The request is consistent with the Comprehensive Plan and Development Code. Staff recommends that the Planning Commission recommend adoption of the proposed amendments to the City Council.

Alternatively, the Planning Commission can continue the hearing until November to allow additional comment, make revisions to the proposed amendments, or close the hearing and deliberate further. However, as a result of a grant deadline, and extensive outreach completed to date with the Alderbrook neighborhood, staff recommends approval subject to additional public testimony.



CITY OF ASTORIA

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COMMUNITY DEVELOPMENT

November 17, 2015

TO: MAYOR AND CITY COUNCIL

FROM: BRETT ESTES, CITY MANAGER

SUBJECT: AMENDMENT A15-03 CONCERNING RIVERFRONT VISION PLAN
IMPLEMENTATION FOR THE NEIGHBORHOOD GREENWAY AREA

Background

In 2009 the City of Astoria adopted the Astoria Riverfront Vision Plan. The Riverfront Vision Plan describes a future vision and specific recommended implementation measures related to open space, land use, and transportation plans along the Columbia River waterfront. For purposes of the Riverfront Vision Plan, the City's riverfront was divided into four plan areas: Bridge Vista, Urban Core, Civic Greenway, and Neighborhood Greenway.

Over the past few years, the City Council adopted goals regarding implementation of the Riverfront Vision Plan. In 2012-2013, the City of Astoria requested and received a Transportation and Growth Management (TGM) Code Assistance grant to develop and write updated Comprehensive Plan language, Development Code text, and map amendments to implement policies and recommendations in the City's adopted Riverfront Vision Plan for the Civic Greenway Plan Area (Phase 1) and Bridge Vista Plan Area (Phase 2). The intent of the implementation process is not to revisit or revise recommendations from the Riverfront Vision Plan which was accepted by the Astoria City Council in 2009.

The first steps in the process to implement the Riverfront Vision Plan were adoption of code amendments for the Civic Greenway Plan Area and Bridge Vista Plan Area. The Council adopted the amendments for the Civic Greenway Area at their October 6, 2014 meeting and for the Bridge Vista Area at their June 16, 2015 meeting. The adopted materials are accessible on the City's website at www.astoria.or.us, Community Development, Projects, Riverfront Vision Plan, or can be obtained at City Hall.

With the completion of Phase 1 (Civic Greenway Area) and Phase 2 (Bridge Vista Area), staff has begun work on Phase 3 (Neighborhood Greenway Area). This Area encompasses the Alderbrook neighborhood north of Lief Erikson Drive to the pier headline between 41st Street and 54th Street.

The City was notified that funding from the Department of Land Conservation and Development (DLCD) Coastal Management Technical Assistance Grants for the FY 2014-2015 grant cycle was awarded to the City to assist in code writing for implementation of Phase 3 of the Astoria Riverfront Vision Plan for the Neighborhood Greenway Area (41st Street to approximately 54th Street). The grant agreement between DLCD and the City was

approved by City Council on March 2, 2015. The grant funds need to be expended and the project complete by December 31, 2015.

The Planning Commission held a Town Hall Meeting on August 20, 2015 and two public work sessions (September 1, 2015 and September 16, 2015) on the draft amendments with mailed, e-mailed, and published notification to the general public and to anyone who expressed interest in the Riverfront Vision Plan implementation process. Updates were provided to the City Council on the progress made to date on July 27, 2015 and August 31, 2015. A presentation to the City Council on the progress made to date was held on November 2, 2015. The work sessions have been well attended and public comments have been provided.

The RVP for the Neighborhood Greenway Planning Area identified Land Use Assumptions and Objectives which state that *"It is expected that very little overwater development will occur in the Neighborhood Greenway area in the future other than small-scale improvements such as docks or piers (or improvements to the River Trail trestle) which would enhance the general public access to the river."* The objectives of the RVP for this area include:

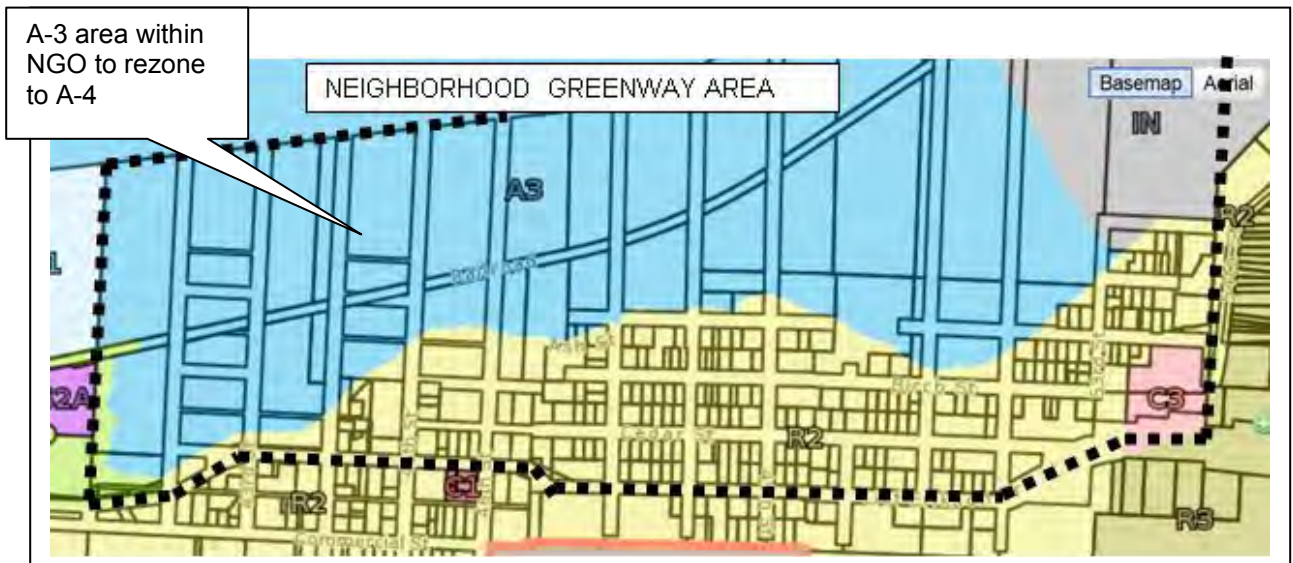
- Highlight the river's natural edge by framing views and creating path/trail systems that reflect the river's movement.
- Emphasize natural features and beauty along the edge of the river and lagoon.
- Use plantings and landscaping that provide riverbank restoration and increase habitat.
- Respect and protect the visual character of the Alderbrook Neighborhood.
- Minimize impacts of pedestrians on neighborhood residents.
- Protect river vistas to maintain physical and visual connection to the Columbia River.
- Create and maintain a sense of openness to enhance connections to the Columbia River and the Neighborhood Greenway area and improve the quality of residential areas. Open spaces should range from smaller, more intimate spaces to larger gathering places.
- Encourage maritime related uses consistent with Astoria's working riverfront such as docks, piers, marinas, and associated uses that provide jobs and maintain a historic connection to the river.

Throughout the RVP implementation process, the Planning Commission (APC) focused on these Assumptions and Objectives and did not attempt to change the Vision Plan as adopted.

Proposed map amendments will include:

1. Rezone the aquatic parcels between 41st and approximately 54th Streets, from the shoreline to the pier head line from A-3 (Aquatic Conservation) to A-4 (Aquatic Natural).

2. Apply the new Neighborhood Greenway Overlay (BVO) Zone to the Neighborhood Greenway Plan Area.



Proposed Development Code text amendments will include:

1. Add a new Neighborhood Greenway Overlay Zone to address the standards for over-water development including structure height and width, allowable uses, and landscaping, etc.
2. Add new design standards for multi-family development in the Neighborhood Greenway Plan Area.
3. Add new design guidelines for multi-family residential and non-residential development in the Neighborhood Greenway Plan Area.
4. Establish landscaping standards for multi-family residential and non-residential construction/uses. There would be no landscaping standards for single-family and two-family dwellings.
5. Allow some exemptions for the few existing over-water buildings to continue to be viable businesses thereby preserving the historic structures.
6. Limit new, over-water development to maximum height of top of bank.
7. Make miscellaneous "housekeeping" amendments related to references to the above noted amendments.

Proposed Comprehensive Plan text amendments will include:

1. Update the description of the Alderbrook Area and reference the Neighborhood Greenway Overlay Area and Riverfront Vision Plan implementation.

2. Acknowledge the growing impact of traffic to the neighborhood.
3. Add a policy to investigate the possibility of extending the trolley to the Alderbrook area.
4. Change designation of aquatic area from conservation to natural, and amend allowable uses in the Aquatic Natural designated areas to include the exception for existing structures.


The Planning Commission held a public hearing at the October 27, 2015 APC meetings. There were no public comments. Subsequently, the Astoria Planning Commission unanimously recommended that the City Council adopt the proposed amendments. A copy of the Staff Report and Findings of Fact as adopted by the Planning Commission is attached. Also attached to this memo are the proposed ordinances. A public hearing on the Amendment was held and the Council conducted a first reading of the ordinances at the November 16, 2015 City Council meeting.

RECOMMENDATION

If the Council is in agreement, it would be in order for Council to hold a second reading and adopt the two separate Ordinances. The following is sample language for motions for adoption of the Findings of Fact and Ordinances:

“I move that the Astoria City Council adopt the findings and conclusions contained in the staff report, and approve Amendment Request A15-01 to the Development Code and Astoria Land Use and Zoning Map and adopt the Ordinance.”

“I move that the Astoria City Council adopt the findings and conclusions contained in the staff report, and approve Amendment Request A15-01 to the Comprehensive Plan and adopt the Ordinance.”



By:

Rosemary Johnson, Special Projects Planner

Through:

Kevin Cronin, Community Development Director